

WYOPREVIEW.COM

Volume 34 | Number 7

**JULY 2016**

# *Preview*

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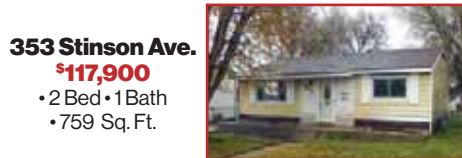
**Deb Rang**  
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deb@sellcheyenne.com



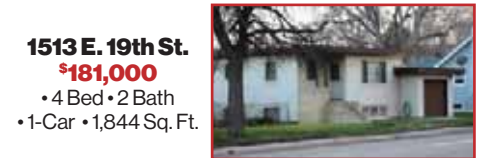
**935 Apache**  
**\$264,000**  
• 3 Bed • 2 Bath  
• 2-Car • 1,896 Sq. Ft.



**1938 Wyott Dr.**  
• 50,000 to 200,000 Sq. Ft.  
• For Lease  
• Build to Suit  
• Call for Details



**353 Stinson Ave.**  
**\$117,900**  
• 2 Bed • 1 Bath  
• 759 Sq. Ft.



**1513 E. 19th St.**  
**\$181,000**  
• 4 Bed • 2 Bath  
• 1-Car • 1,844 Sq. Ft.



**310 Hacienda Ct.**  
**\$131,900**  
• 2 Bed • 2 Bath  
• 1-Car • 912 Sq. Ft.



**1222 Dodge Ct.**  
**\$148,300**  
• 2 Bed • 2 Bath  
• 1,544 Sq. Ft.



**103 E. 3rd Ave.**  
**\$230,000**  
• 4 Bed • 2 Bath  
• 1-Car • 3,018 Sq. Ft.



**3008 Ames St.**  
**\$148,300**  
• 2 Bed • 2 Bath  
• 1,850 Sq. Ft.



**1312 E. 23rd St.**  
**\$195,000**  
• 2 Bed • 1 Bath  
• 3-Car • 1,400 Sq. Ft.



**509 Edward Dr.**  
• 3 Bed • 3 Bath  
• 3-Car • 4,247 Sq. Ft.  
• 2.5 Acres

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**Isenberger**  
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307 W. Lincolnway • \$85,000



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137 King Ct. • \$175,000



• 3 Bedroom  
• 2 Bath  
• Oversized 2-Car Garage

3412 Barbell Ct. • \$219,900



• 3 Bedroom  
• 2 Bath  
• 1-Car Garage

4309 Ontario Ave. • \$189,900



**East Lakeview**  
• 4 Bedroom • 2 Bath  
• 1-Car Garage • 2-Story Home

7518 Danni Marie • \$395,000



• 5 Bedroom  
• 4 Bath  
• 2-Car Garage

7104 Macy Pl. • \$479,900



• 4 Bedroom  
• 3 Bath  
• 3-Car Garage

**3514 McComb Ave. — \$249,900**



1930s era home completely renovated. This home has new thermal windows throughout, new carpeting, furnace and hot water heater. Custom kitchen complete with granite countertops. Gorgeous hardwood floor and upgraded bathrooms with custom tiling. Garage has new vinyl siding and home has upgraded electrical. This is a must see!



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**UNDER CONTRACT**

**4612 ONTARIO AVE.**  
**\$214,900**

TONS OF ROOM TO GROW IN THIS SPACIOUS BI-LEVEL HOME! THREE BEDROOMS, 2 BATHS, 2-CAR GARAGE AND A HUGE BACKYARD!

### FOR RENT



**115 MONTALTO DR.**  
3 BEDROOM/ 2 BATHROOM  
**\$1000/MO + ELECTRIC/GAS**



**416 W. 29TH ST.**  
3 BEDROOM/ 2 BATHROOM  
**\$1300/MO + UTILITIES**

PETS NEGOTIABLE



**2817 E. 11TH ST.**  
4 BEDROOM/ 2 BATHROOM  
**\$1500/MO + UTILITIES**

PETS NEGOTIABLE



**1901 CENTRAL AVE.**  
STUDIO/1 BATH

**\$450/MO, UTILITIES INCLUDED**  
1 BEDROOM/1 BATHROOM  
**\$600/MO, UTILITIES INCLUDED**  
NO PETS



**523 WEST 27TH ST.**  
COMMERCIAL OFFICE SPACE FOR LEASE. 3 SPACES LEFT

CALL FOR MORE INFORMATION

### OTHER VACANCIES

**1318 E. 19TH ST. • 1 BEDROOM/ 1 BATHROOM**  
**\$600/MO, UTILITIES INCLUDED. NO PETS**

**207 W. 17TH ST. • 2,000 Sq. Ft. SPACE WITH LOBBY AND 4 OFFICES.**  
**\$1300/MO, UTILITIES INCLUDED.**



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# Preview

# REAL ESTATE GUIDE

WYOPREVIEW.COM  
Volume 34 | Number 7  
**JULY 2016**

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THE PROPERTY EXCHANGE

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THE PROPERTY EXCHANGE

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Land Brokers, LLC

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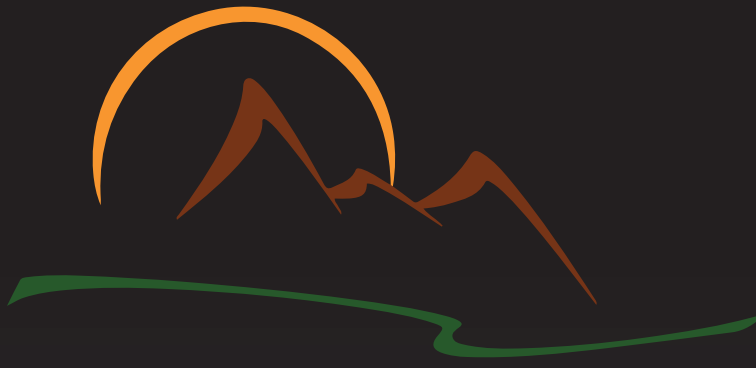
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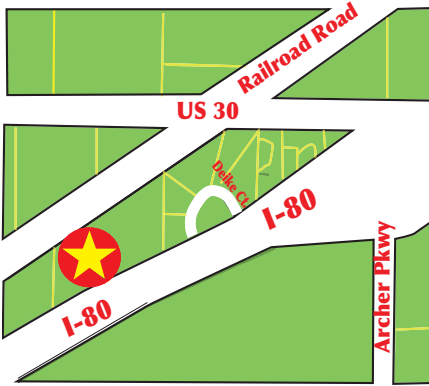


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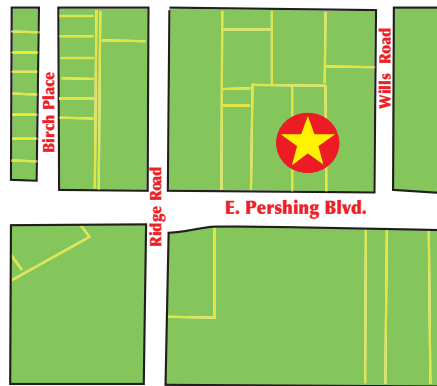
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 630-0955



**Connie Webb**  
 Broker Associate  
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**Cathy Cornell**  
 Sales Associate  
 286-2570



**Max Minnick**  
 Sales Associate  
 421-4906



**Dana Diekroeger**  
 Sales Associate  
 421-7593



**Becky Minnick**  
 Sales Associate  
 630-6298



**Sam Van Riper**  
 Sales Associate  
 331-1770



**Warren Keldsen**  
 Sales Associate  
 640-3946



**2262 Wind River Trl. • \$929,000**  
 Stunning 2-story home with huge entryway with double curved staircases, gourmet kitchen with 3 sinks, granite countertops, huge pantry. Master bedroom suite has more closet space than you can fill, deluxe master bath with jetted tub & tiled shower. Every bedroom has a bath. Walk-out basement & yard designed for entertaining!  
**Mike Hutton • 630-2735 #63115**



**NEW LISTING**

**6815 Windsor Blvd. \$199,000**  
 Beautiful tri-level home in desirable North Cheyenne, close to schools, parks & shopping. Gleaming hardwood floors, updated bathrooms & kitchen. Large fenced backyard with an inviting sunroom off the back. Call for personal showing.  
**Dana Diekroeger • 421-7593 #64177**



**NEW LISTING**

**T-32 Barberry Ridge \$59,699**  
 Fantastic view & lots of potential for a home-site. A short drive to Cheyenne. Surrounding properties are nice and well maintained.  
**Connie Webb • 630-7637 #64183**



**PRICE REDUCED**

**4561 Canvasback Ln. • \$229,900**  
 So much space inside & out! Located on 9.3 acres, no covenants, horses welcome, loafing shed with enclosed tack room, chicken coup. The 1-car garage can also be used as an outbuilding. Huge open kitchen with center island & large enough for a big dining room table, 2 very nice sized family rooms & the list goes on! Approximately 25 minutes from town.  
**Dana Diekroeger • 421-7593 #63894**



**COMMERCIAL**

**2409 E. 15th St. • \$239,500**  
 Beautiful commercial building 1 block from Lincolnway & Converse. Cleaned from top to bottom. New floors in several of the offices with abundant storage in the warehouse. Come check out this high traffic location with a gorgeous view of the capitol city!  
**Warren Keldsen • 640-3946 #63661**



**NEW LISTING**

**224 Michelle St. • \$269,900**  
 Immaculate ranch-style townhome in north Cheyenne located minutes from the Greenway. Very bright & open with vaulted ceilings, skylights 2-sided fireplace, open kitchen with breakfast bar & dining area. All bedrooms are oversized with walk-in closets. Completely finished basement with wet bar, family room, game room & 2 more bedrooms & bath. Front yard xeriscaped. Very low maintenance.  
**Dana Diekroeger • 421-7593 #64195**



**PRICE REDUCED**

**3016 Capitol Ave. • \$284,900**  
 Stunning Avenues 2-story home, walking distance to Frontier Park, hospital & downtown, minutes to F.E. Warren. Completely updated & refurbished still keeping all of the original charm. Gill windows throughout the entire home beautiful hardwoods, custom maple Schroll cabinetry in the kitchen & butlers pantry. Private backyard with shed & patio.  
**Dana Diekroeger • 421-7593 #63140**



**PRICE REDUCED**

**3302 Fire Side Dr. • \$339,900**  
 One-of-a-kind, 1 owner, 2-story in Saddle Ridge. Walking distance to Elementary School, Greenway & park. Finished basement, 3 bedrooms up & 2 in basement. Two living areas, large dining, 3 sided fireplace, some hardwood floors. Spacious kitchen featuring stainless steel appliances, main floor laundry. Huge backyard that overlooks open space & endless views to the west.  
**Dana Diekroeger • 421-7593 #64030**



**4809 Garnett Way \$258,000**  
 Beautiful 2-story townhouse that just sparkles! Bring your growing family because this home features 5 bedrooms & 4 baths. It has a fabulous location near schools & shopping. This home is like new!  
**Gary Gonzalez • 640-0855 #64048**



**NEW LISTING**

**COMMERCIAL**

**2017 Bluegrass Cir.**  
 This is a prime building in a prime Dell Range corridor location. Zoned CB (community business), the uses for this property are nearly limitless. With an attractive brick exterior & just steps from the highly traveled Dell Range Blvd., this property is a great opportunity. More details are available.  
**Linda Weppner • 630-0955 #64307**



**PRICE REDUCED**

**540 S. Lincoln St. #B • \$111,750 Laramie, WY**  
 Three bedroom, 2 bath townhome. Large living room on lower level as well as a living room with fireplace on upper level! Great investment opportunity or first time home buyer. Property built in 1978, the possibility of lead based paint exists.  
**Max Minnick • 421-4906 #131157**



**NEW LISTING**

**COMMERCIAL**

**331 Lexington Ave.**  
 This 15,000 sq. ft. clear-span building provides great space for a warehouse/shop & includes an office plus 2 bathrooms. Building is heated. Located just off of the I-80 & College interchange, access is ideal. There are 2 14' overhead doors plus pass doors. Lease rate is \$7 sq. ft. & \$1 sq. ft. CAM for a total of \$8 sq. ft.  
**Linda Weppner • 630-0955 #64310**

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**NEW LISTING**



**4301 Pierce Ave.  
\$220,000**

Nice, open bi-level home with new carpet, tile, updated kitchen & bathroom, Pergo flooring & central air. Huge corner lot with mature landscaping, sprinkler system & oversized 2-car garage.

**Dana Diekroeger • 421-7593 #63693**

**PRICE REDUCED**



**993 Mallard Ln. • \$102,000  
Burns, WY**

Nice private location! 10.4 +/- Acres & perimeter fenced. Drive under garage. House is sold in "AS-IS" condition. Good opportunity to build equity in a home.

**Connie Webb • 630-7637 #64118**

**NEW LISTING**



**12100 Alpine Ranch Rd.  
\$379,900**

Like new! Beautiful home in Alpine Ranch! Open floor plan with large living room & spacious kitchen. Granite counter tops, Knotty Alder cabinets, hardwood floors. Pantry provides extra storage & the laundry room is sound proof. The covered patio with heaters is perfect for entertaining!

**Max Minnick • 421-4906 #64420**



**TBD Dell Range Blvd.  
\$245,000**

Location! Location! Location! Great location with frontage on both Hwy. 30 & Dell Range Blvd. Zoned MUB. The possibilities are endless with what you could do here!

**Max Minnick • 421-4906 #61549**



**T-3 County Rd. 223  
\$125,000**

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**Mike Hutton • 630-2735 #55594**

**PRICE REDUCED**



**4717 Ft. Sanders Rd. • \$64,900  
Laramie, WY**

Envision the final project. Lots of opportunity to make this a wonder home. Large lot with a workshop & several other outbuildings. House needs some TLC & is priced accordingly.

**Connie Webb • 630-7637 #63727**



**22 Antelope Rd. • \$136,000  
Wheatland, WY**

Lots of possibilities with some TLC. The open floor plan is welcoming & the wood burning fireplace adds charm. The bedrooms are large & each has a walk-in closet. Attached mud room & fenced backyard add to this gem!

**Connie Webb • 630-7637 #63787**



**5018 Vosler Pl. • \$119,900**

Nice 3 bedroom, 1 bath home with a fenced yard. Spacious living room with a wood burning stove. Great investment possibilities. Both 5018 & 5016 Vosler Pl. are being sold for 1 price.

**Max Minnick • 421-4906 #63813**



**5016 Vosler Pl. • \$119,900**

Nice 1 bedroom, 1 bath home with newer paint & carpets! Great income possibilities. Two homes for 1 price! 5018 Vosler Pl. is being offered for sale as well.

**Max Minnick • 421-4906 #63814**



**2521 Moonlight Ct. • \$445,000**

Beautiful, 1-owner, brick, custom home with hardwood floors throughout. Open kitchen with breakfast nook that overlooks 9 acres of rolling hills & numerous trees that are on a drip system. Formal dining, high ceilings, master suite with 3 additional rooms, marble floors in the bathrooms, & Corian kitchen countertops. Daylight basement is ready for your personal finishes. Garage is heated & insulated. Horses are welcome. There is already a loafing shed & enclosed tack room.

**Dana Diekroeger • 421-7593 #63693**



**3993 Rd. 223 • \$799,900**

Your dream home in the country! Cherry cabinets in the kitchen, Walnut cabinets in the wet bar & family room, polished sandstone countertops throughout, Brazilian Cherry hardwood floors, Aspen ceiling in the great room & kitchen, Knotty Alder doors throughout, triple pane windows with interior blinds, huge office/sewing room, laundry & more! The breezeway from house to garage is 32x8, 60x42 outbuilding surrounded by mature trees & all on 20 acres with no covenants!

**Mike Hutton • 630-2735 #60668**

**PRICE REDUCED**



**3610 Campbell Ave. • \$94,900  
Torrington, WY**

This home is located in Torrington & has 3 bedrooms on main level & 2 in basement. Large lot with mature landscaping. Close to hospital & college.

**Connie Webb • 630-7637 #62841**



**Marv McNally  
Broker Associate  
634-2220**



**Judy Edgar  
Sales Associate  
631-1126**



**Rob Higgins  
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**3618 Reed Ave.** *New Listing*

**Beautiful Avenue's home!** Four bedrooms, 2 baths and 1-car garage. Newly updated kitchen with granite. Freshly painted throughout with new carpet. Bathrooms tastefully remodeled with tile accents. Full basement, partially finished. Beautifully landscaped on a large corner lot near Frontier Park. \$214,900.

**Listed by Mary Myers**  
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**3497 San Badger** *New Listing*

**Wonderful new construction by Fusselman Builders.** Ranch-style home with over 1,600 sq. ft. on each level Three bedrooms, 2 baths and 3-car attached garage. Beautiful hardwood floors, granite countertops and tile accents throughout. Large master with double sinks and closets. Main floor laundry and central air included. Located in Blue Ribbon Estates on 8 acres with natural gas. Just minutes from town! \$371,900.

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**109 W. Pershing** *New Listing*

**Vintage Victorian-style home waiting for some love and care!** Three bedrooms, 2 baths and a 1-car detached garage. This charming home has hardwood floors with large living and dining area. Private lot with brick fencing and plenty of off-street parking.

**Listed by Mary Myers • 307.630.4233**



**Laramie St.**

**BUILDING LOT**

**Prime building lot!** This lot is 60x125 +/-, 7,500 sq. ft., zoned MR-2. Tap fees are paid! Stick built homes, no manufactured or modulars allowed. Great opportunity!

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**3911 Pierce** *Sale Pending*

**Fabulous brick ranch-style home all on 1 level!** Two bedrooms, 2 baths and 3-car detached garage and plenty of storage. Custom Schroll kitchen, formal dining and spacious family room. Enjoy the summer on the private patio/deck. Located on nearly 1 acre with plenty of room for RV parking.

**Listed by Mary Myers • 307.630.4233**



CIBA



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1317 West Pershing Boulevard  
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**2967  
HENDERSON  
\$155,000**

House with a lot of potential. MLS #64042

**1049  
ST. JAMES  
\$179,900**



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6.36 acres.



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**4725-4731 Hickory Pl. • \$310,000**



This 4-plex has great rental history. Each unit is deeded but needs to be sold together for the owner is doing a 1031 Exchange. There are 2 3-bedroom 2-bath units and 2 2-bedroom, 2-bath units.

Call Donna • 220-8021



**516 East 6th St.  
\$189,900**

Two homes for the price of one! Perfect scenario for many different! Live in the front home, 3 bedroom, 2 bath and rent out the back home, 2 bedroom, 1 bath or keep it for when the family wants to visit! Or you could rent out both for a nice monthly income.



Call Cara • 640-5007

**1124 Melody Ln. • \$229,900**



Don't miss out on this great listing in Harmony Meadows. This ranch-style home has 3 bedrooms up and 1 down plus 2 extra rooms that could be used as bedrooms. This home is handicap accessible with chair lift down to

basement and a walk-in tub in the master bath. The sunroom addition is great extra area. Call Donna today to see this listing.

Call Donna • 220-8021

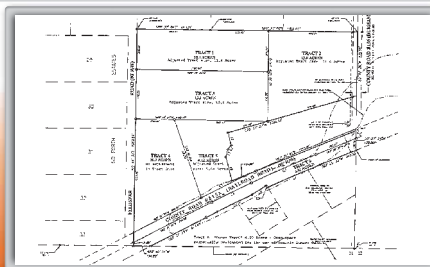
**105 East 3rd Ave. • \$199,900**



Avenues home! Very well maintained! Hardwood floors on main floor. Electrical recently updated. Wonderful greenhouse in backyard. Laundry

was relocated to the upstairs.

Call Cara • 640-5007



### Prairie Sunset Subdivision Lots 1, 2, 3, 4

Great building lots off Railroad Rd. Four total lots.

Lot 1 is 11.40 acres, priced at \$59,850.

Lot 2 is 11.60 acres, priced at \$63,800.

Lot 3 is 10.60 acres, priced at \$55,650.

Lot 4 is 10 acres, priced at \$55,000.

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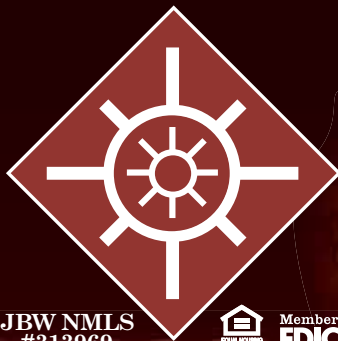
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**1226 MONROE AVE. • \$229,900**

Lots of renovating done to this beautiful brick ranch home! New granite counters, stainless steel appliances, new vessel sinks in bathrooms, new tile surround showers. Tile in bathroom and kitchen, Chalk Paint used on bathroom cabinets! Gleaming hardwood floors throughout the main level. Very large kitchen, 19x16! Large great room in basement, 37x12! Huge deck in backyard measures approximately 37x12. Back fully fenced. Freshly painted. Newer carpet in basement. Maintenance-free exterior, vinyl windows.



**4596 IRON HORSE RD.  
\$175,000**

Very clean, updated doublewide modular home on 4.1 acres! Covered patio, large deck, lots of trees on the property with drip system. Large living spaces. Kitchen, 14x12 with breakfast nook. 31x13 Living room with a cozy woodburning stove. This property also has a detached 2-car garage. Perfect for your rural buyers who want room for their horses. Master suite with master bath. Owner will consider an owner carry! Riding and push mowers are included.



**921 PENNSYLVANIA  
\$165,500**

Beautiful twin home that is very clean and bright with vaulted ceilings. Open floor plan. Perfect for the buyer who wants all main floor living. Spacious with 3 bedrooms, fresh paint, Pergo flooring, master bedroom with bath. Great fenced backyard with nice patio area. Two-car attached garage. Seller has taken very good care of this home. Inspections are done and repairs complete.



**4551 BIG CHIEF RD.  
\$75,000**

Very well cared for home on 4.8 acres with vaulted ceiling in living room Master bedroom with master bath. 10x8 Extra room for office or other uses. Nice big deck! Fenced and lots of trees. Loafing shed and tool shed. Riding and push mower are included. Lots of closet space. This is a great rural property at a great price! Owner carry an option. Please call for details.



**3307 HYNDS BLVD. • \$299,000**

Immaculate and spacious all brick quad-level home. This is custom built and perfect for the buyer looking for unique living. Large rooms throughout with ceramic tile entry, wood flooring on stairways and like new carpet in the remainder of home. Cable and phone hookups in every room, 22x24 storage room, Corian counters, Gill Windows and doors Exterior is completely maintenance-free with great curb appeal. Finished and heated garage.



**UNDER  
CONTRACT**

**121 W. 6TH AVE. • \$279,900**

Beautiful Avenue's ranch! Remodeled kitchen and baths, meticulously cared for. Details all over. Stamped concrete front porch with wood finish ceiling, glass block surrounding doorway, living room with granite surround fireplace, coffered ceiling. 19x15 Kitchen remodel with Corian counters, stained glass above sink, secretary area, lots of Schroll cabinets, skylight for extra lighting. Stairway lights to basement. New furnace, Pella windows throughout, 4-piece bath in basement with jetted tub.

**TBD TABLE MOUNTAIN LP. • \$28,000** 9+ Acres in Table Mountain.



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### LONE TREE CREEK RANCH

#### Cheyenne, Laramie County, Wyoming

Within 2-1/2 hours of Denver International Airport, the Lone Tree Creek Ranch is located 20 miles west of Cheyenne or 30 miles east of Laramie and just off of I-80. Beautiful 700± deeded acre ranch at the foot of the Saddle Back Mountain offers endless possibilities for the outdoor enthusiast. Unique rock outcroppings, pine and cedar tree-covered ridges along with the willows that line Lone Tree Creek as it travels through the ranch for approximately a mile are some of the distinctive amenities this ranch offers. Lone Tree Creek provides ample year-round live water for livestock and wildlife and feeds into two large ponds stocked with brook and brown trout. Excellent habitat and protection for elk, mule deer, whitetail deer, antelope, and wild turkeys. The 100± acres of lush sub-irrigated hay ground supplies additional feed for livestock and wildlife. Improvements include a two-story, 3,864 sq. ft. totally remodeled in 2014. 4 bedrooms, 3-1/2 baths, finished walk-out basement, attached 4-car garage and much more.

**Price Reduced to \$2,100,000**

**OTHER AVAILABLE OPTIONS:**

**OPTION A:** Improvements and 145± deeded acres.

**Price Reduced to \$1,000,000**

**OPTION B:** 555± deeded acres. No improvements.

**\$1,100,000**

**Contact Logan Schliinz at (970) 222-0584  
or Cory Clark at (307) 334-2025**



### WEBER MOUNTAIN RANCH

#### Wheatland, Platte County Wyoming

Located in the heart of elk country, the 2,160± acre Weber Mountain Ranch is a great combination of productive ranch land and recreational splendor with 2,080± deed acres and 80± State of Wyoming lease acres. The ranch is located approximately 19 miles southwest of Wheatland, Wyoming on State Highway 34, and has year-round access. Water is proved to the ranch by two solar powered wells along with Brush Creek, a year-round creek that flows through the northwest corner of the property. Located in Area 6 for elk, which qualifies for land-owner elk licenses, Weber Mountain Ranch offers exceptional hunting opportunities. Wildlife found on the ranch includes elk, mule deer, whitetail deer, antelope, turkeys, waterfowl, coyotes, bobcats, mountain lions, Hungarian partridge, and sage grouse.

**\$1,768,000**

**Contact Cory Clark at (307) 334-2025  
or Scott Leach at (307) 331-9095**

# Cheyenne, Wyoming



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630.0522



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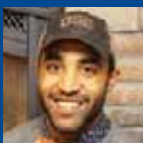
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3551 Burns Avenue • \$330,000



Completely finished rancher on over 4 acres, fenced. Quality constructed home with 5 bedrooms, 3 baths, 2-car garage. Extra work-out/craft/play room. Large mudroom with main floor laundry. Mature landscaping, corner lot. Serene & private. Hardwood floors, second kitchen in basement, large family room with private, intimate raised seating area. A home like this doesn't come along very often!

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1875 Packard Road • \$330,000



Two homes in one! Ranch-style on 9.6 acres with 4 bedrooms, 3 baths, 2 kitchens, 2 laundry rooms, fully finished walk-out basement. Metal quonset building with electric. Hilltop locations: amazing views. A rare find just minutes from Cheyenne city limits.

1008 Beverly Boulevard • \$240,000



Country living with city conveniences. Situated on a hill in Winchester Hills. Manufactured home on a permanent foundation with 3 bedrooms, 2 baths, 2-car garage plus outbuilding on 2 acres.

1129 Spirit Lane • \$365,000



Twin home at The Pointe, corner lot with walk-out basement. Living room with see-thru fireplace into the sunroom. Former model home with tons of upgrades! Carefree living with lawn & snow removal taken care of by HOA. Luxurious master suite, main floor laundry & open floor plan.

807 Phoenix Drive • \$185,000



Spacious bi-level with 3 bedrooms, 2 baths, 2-car garage with workshop area. Two family rooms, 1 with wet bar, 1 with hot tub area. Central A/C, newer windows, landscaped backyard.

439 Road 138 • \$312,000



Modular home on 35 acres: 5 bedrooms, 3 baths, 2-car garage. Large family room with wet bar. Open floor plan. Kitchen with island, formal dining plus breakfast nook. Main floor laundry with utility sink, mud room. Large deck for outside entertaining.

5408 Eastview Street • \$240,000



Bi-level home in convenient location to elementary school. Four bedrooms, 2 baths, lots of remodeling. Open kitchen with breakfast bar & separate dining. Large deck with hot tub. Perfect backyard for the whole family & pets. Trees, fenced. Delightful!

824 Storey Boulevard \$990,000



Great little County pocket surrounded by city limits on three sides. Could be a fantastic commercial or multi-family investment.



Bill Strickland

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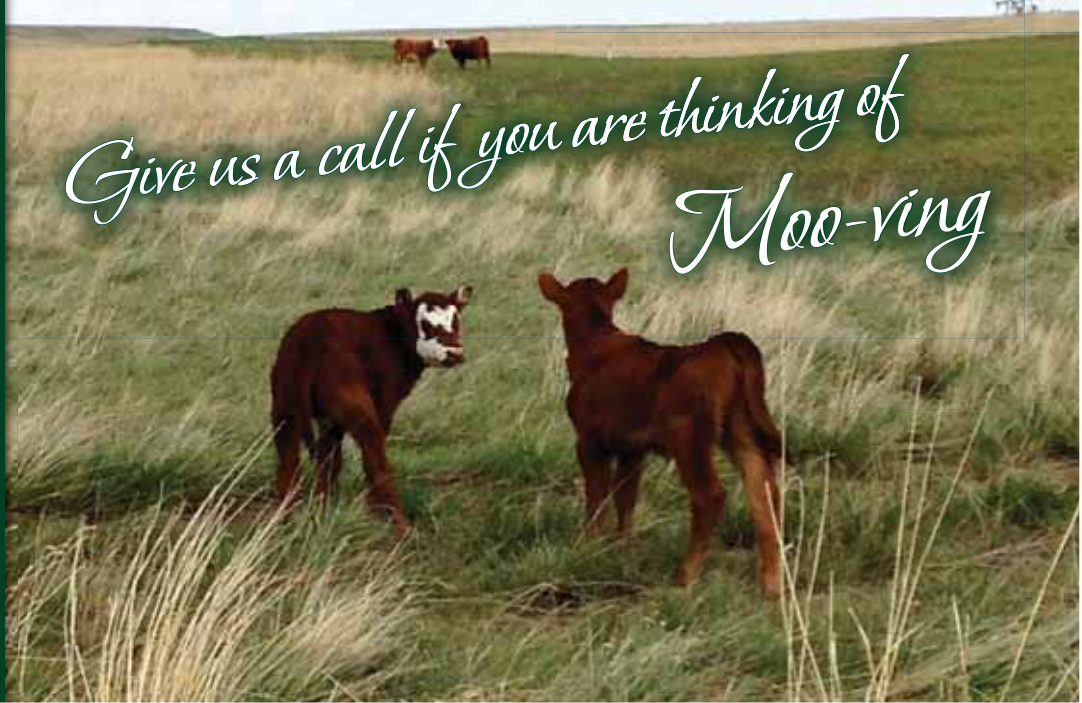


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*Julie Malm*

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*Gunnar Malm*

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gunnarM21@gmail.com

## 3534 Saratoga Street • \$389,900



This immaculate home is finished both up and down. Beautiful upgrades throughout includes granite, large rooms, hardwood floors, and lots of storage. Two more bedrooms await flooring & wallboard to make this a 6 bedroom home. A must see!

## 1363 Dorothy Lane • \$335,000



Beautiful, meticulously maintained and so comfortable! This home is located on a large, manicured corner lot in one of the Cheyenne's

finest neighborhoods. Featuring central air conditioning, hardwood flooring, granite countertops, a gas fireplace, sprinkler system and stainless appliances. So much house for the money!

## 1019 Old Town Lane • \$249,900



*Under Contract*

Exceptional 2014 townhome located in the Village in North Cheyenne. Three bedrooms, 3 baths, 2-car garage, a finished basement with

upgraded finish throughout. Hardwood floors on the main level, granite countertops in the kitchen and baths, stainless appliances, custom cabinetry, custom tile, landscaped with sprinkler system.

## 1026 Crest Park Drive • \$219,900



*Under Contract*

Location! Location! This large home sits on a corner lot across from a park and elementary school. New windows, newer roof, some paint. Great potential for the new buyer! Call today.

## 307 Market Street • \$197,900



Home is located in Pine Bluffs. It's a great investment opportunity. House needs some TLC, but move-in ready. Being sold as is.

Basement has kitchenette - could be used for additional income. Large lot & out buildings make this a true value!

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**2319 Morrie Avenue**  
**\$159,900**  
 • 5 Bedrooms • 2 Bathroom

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**5115 Penny Lane**  
**\$124,500**  
 • 3 Bedrooms  
 • 2 Bathrooms  
 • 2-Car Garage

*Under Contract*

**4613 E. 13th Street**  
**\$166,000**  
 • 2 Bedrooms  
 • 1 Bathroom  
 • 2-Car Garage



*Under Contract*

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 sgareysells@gmail.com

**1360 Pronghorn Court • \$595,000**



Three bedrooms, 4 bathrooms & 3-car garage. This home sits right on rolling hills and across from Granite & Crystal Lakes, it borders National Forest. Wonderful 360 degree views throughout. Close to common area pond & walking trail. Three master suites with own bathrooms. Octagon 2-story library, a kid's private room with curved door & a room they call the "Pub." A star gazing tower on top of home! Too many features to mention.

**995 Wild Prairie • \$465,000**



• 3 Bedrooms • 2 Bathrooms • 3-Car Garage

**1594 Sky Top Road • \$399,900**  
 • 5 Bedrooms • 4 Bathrooms • 3-Car Garage



**3004 Foothills Road • \$295,000**

**NEW LISTING**



• 5 Bedrooms • 4 Bathrooms • 2-Car Garage

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# Greg Palmquist

Broker Associate CRS • MBA



Text/Cell: **631-5291**

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visit [www.GregPalmquist.com!](http://www.GregPalmquist.com!)



**5212 Shadow Rock Drive • \$338,000**

- Northeast Location • Stainless Appliances
- 3 Bedrooms, 2 Baths, 2-Car Garage
- Finished Family Room • Granite & Hardwoods
- Bilstad Construction Quality



**7529 Legacy Parkway • \$330,000**

- Buyer Incentives!
- Hardwoods & Granite Throughout
- Vaulted Ceilings • Gas Fireplace
- Finished Basement Family Room & Rec Room



**3400 McComb Avenue • \$175,000**

- Outstanding Starter Home
- 2 Bedrooms, 1 Bath, Oversized 2-car Detached Garage/Workshop With Alley Access
- Located in the Avenues Near F.E. Warren AFB



**1202 Cleveland Avenue**

- Outstanding Medical Office Building
- Space Available On A Per Day, Week or Monthly Basis
- Minimum Lease Is One Year • Flexible Terms
- High Visibility • Paved Lot • Highway Access



**3512 Moore Avenue • \$210,000**

- Spacious & Charming • Avenues Home
- 3 Bedrooms, 2 Baths, 1-Car Garage
- Owned By One Family For Over 60 Years
- All New Electrical Service • Great Curb Appeal



**811 Montclair Drive • \$289,900**

- North Cheyenne Location
- Quad-Level Living • Updated Carpet, Tile, Paint
- Newly Renovated Kitchen
- Newer Vinyl Windows & Doors

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**631-1074**

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Web site: [www.JonP.us](http://www.JonP.us)

**CUTE LITTLE HOME!**



**2821 E. 12th Street**  
**\$165,000**

Cute metal sided 3 bedroom, 2 bath home on corner lot with a large 2-car detached garage. You will love the tiled eat-in kitchen with ample cabinets & counter space. The hardwood floors glisten through the living room & upstairs bedrooms. The knotty pine basement provides a homey retreat.

**RARE FIND!**



**584 Road 102**  
**\$2,100,000**

755 Acres easily accessed from I-80 via Road 102. The north end has a mountain feel with pine trees, rock outcroppings & a pond. The south end is high plains pasture. A 2,640 sq. ft. house sits in a private portion of the property.

Water rights available with hay irrigated meadows. Acreage will support 40-50 cow/calf pairs.

**NEW CONSTRUCTION**



**1911 Fernwood**  
**\$224,900**

Well priced new construction with 3 bedrooms, 2 baths & 2-car garage. The open floor plan is accented with an all stainless steel kitchen & Merillat cabinets. The home boasts a large master bedroom with ample closets

& a convenient main floor laundry. The builder will sod the front & provide a 6' cedar fence for your backyard. All this & central air conditioning too.

**FANTASTIC HOME**



**910 Ponderosa Road**  
**\$290,000**

Enjoy the Ponderosa Pines. This neatly kept maintenance-free home with 2-car garage is located on a private street. The large backyard hosts a huge deck with a hot tub. The eat-in kitchen has stainless steel

appliances & ample counter space. With four bedrooms, the home accommodates any lifestyle. The living & dining rooms are full of light.

**EXTRAORDINARY!**



**1617 Fremont Avenue • \$200,000**

Everything in the home is quality! Totally remodeled! This has it all! You will eat in style with all the stainless steel appliances & granite counter topped kitchen. The bathrooms have upgraded cabinets & tile. The bedrooms & living room are all new. Come see today!



**4007 Greenway Street**

See your business in this prestigious bank location. With a low starting lease rate & the ability to customize the space to your needs. This could be the space for you. The site provides ample parking in a high visibility location.

**SHOP ON ACREAGE**



**1726 I-25 Service Road**

Versatile 9,400 sq. ft. building with over 1,300 sq. ft. office space, 4 bedroom living quarters & over 6,000 sq. ft. of warehouse/shop space. The 23-acre lot provides plenty of space for outside storage with a paved access & parking. Buy for just \$500,000 or lease today for \$5000/mo.

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**Suzanne Holly**

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suzanne@propertyex.com



**Mike Hoppe**

307.221.3703  
mhoppe@propertyex.com

**1515 E. 16th Street • \$205,000**



Guaranteed to delight you! Charming features to this wonderful family home include modern kitchen with stainless, hardwood floors, living room & family room are both on main level for generous entertaining space & young neighborhood for parent appeal. A choice home for a choice price!

**6334 Marsellaie Court • \$283,000**



Cool off in your own beautiful in-ground swimming pool. All your friends & neighbors will want to BBQ on your pool deck. Updated kitchen with gas range & stainless steel appliances. Wonderful extra large closet & gas fireplace. Garage is a mechanics dream. Quiet cul-de-sac in North location.

**4003 Cobblestone Court • \$234,000**



Check out this beautiful Victorian styled home with a five piece master bath, granite countertops, hardwood floors, central A/C, central vacuum, two large walk in closets and tons of windows. Snow removal and lawn maintenance are paid for with HOA fees.

**1425 Lampman Court • \$195,000**



Wonderful slice of country in city limits. New roof June 2016, new paint inside & out & new carpeting. Wonderful open floor plan for family gatherings & exceptional space for a family. Pre-inspected for your piece of mind!

**2608 E. 10th Street • \$164,900**



Pre-inspected gem! Lovely yard with alley access, RV parking & detached 2-car garage. Updated kitchen with newer appliances & large great room with cute office space. Well taken care of - no one to miss! With slight modification, this could be great income potential as a duplex.

**607 Sterling Drive • \$359,900**



Open floor plan, hardwood floors & newer carpet. Wet bar in the basement & surround sound throughout. Large bedrooms including the master bedroom which leads to the outdoor deck. Beautifully manicured yard that includes new privacy fence in back. Gas fireplaces, ceiling fans & A/C.

**TBD Chimney Rock Loop • \$68,000**



Beautiful front walk-out basement site just 20 minutes west of Harriman exit. Abundant wildlife & easy access to I-80. East facing blocking the wind, rolling hills & wonderful views.

**3221 Basin Street • \$165,000**



Over 2,100 sq. ft. on main level! If you're an artist, this is your canvas. Tons of living space in this home tucked in a pocket in a quiet neighborhood. Covered patio for outdoor BBQ's & fenced for privacy.

**49 Remington Ranch Road • \$68,000**



Talk about wide open spaces! If that is your dream, this is your place! Spectacular vistas all around, take a drive out there & see for yourself! Horseman's dream!!

**5408 Liz Ranch Road • \$234,000**



Enjoy fall & winter snuggled up in one of the finest JL Ranch single family homes. Cozy 4 bedroom, 3 bath home with gas fireplace, breakfast bar & open floor plan. Spacious family room & kids play room in the full finished basement with a fourth bedroom & full bath too!

**2820 Bent Avenue • \$187,900**



Wonderfully modern kitchen & baths with 1920's charm. All stainless appliances, hardwood floors throughout, great room for family connection. Designer paint, newly fenced yard & sod for backyard. This is a must see!

**1818 Hugur Avenue • \$129,000**



Two bedroom, 1 bath, 4-car garage. Hidden value in two 2-car detached garages. RV parking with alley access. Centrally located to reach destinations in good time. Newer interior features include appliances, paint & carpet. Fully fenced for privacy. Tremendous value for the price!

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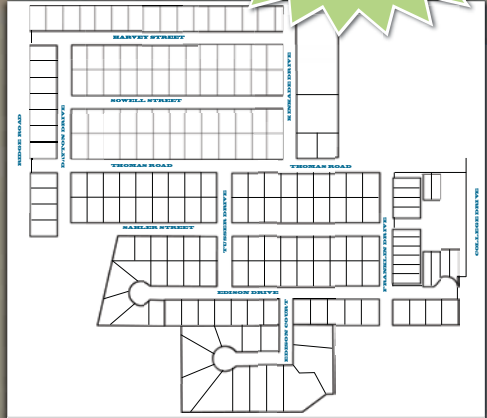
- The Sage team works closely with the home buyer throughout the building process to ensure that the customer's desires and needs come first at every stage.
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# Cheyenne "MVT" Real Estate



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**Kevin Lenhardt**  
Associate Broker/Owner  
307-630-5291  
bigun@kevinlenhardt.com



**NEW LISTING**  
**6524 Troyer Drive • \$349,900**  
Close-in rural property on corner lot. Ranch-style, 5 bedrooms, 3 baths, 2-car garage. Nice size living room with gas fireplace, good size dining & kitchen area with pantry. Wonderful master suite, walk-in closet, main floor laundry. Finished basement with family room, office area, bedrooms, huge walk-in closet, large shower & separate bath with custom tile work.  
**Liz Burgin • 640-3315**



**NEW LISTING**  
**4925 Ruby Drive • \$329,000**  
Terrific 3 bedroom, 4 bathroom, 2-car garage on corner lot. Mature trees, covered deck, dog run & much more. Work room in basement, office on main floor & bar area in basement.  
**Kevin Lenhardt • 630-5291**



**NEW LISTING**  
**8509 Pharmond Trail**  
One-of-a kind, custom home on 5 acres in Forister Estates! Being sold in dried in stage & could be completed in 3 months. 100 Year Malarkey Windsor Class 4 Shingles, in floor hot water radiant heat, top of the line Anderson windows, exterior wood cedar beams, engineered floor trusses, main floor framed, well & septic in place, 37x34 outbuilding.  
**Liz Burgin • 640-3315**



**NEW LISTING**  
**2015 S. 2nd Avenue • \$244,500**  
Wonderful home with 5 bedrooms, 4 baths, 2-car attached garage, detached 26x22 outbuilding, toy garage with garage door & utility shed with electric & heat. Living room, 2 family rooms, separate dining area, updated kitchen with granite counter tops & lots of pull out cabinetry. Vinyl windows, fireplace, updated baths, all in quiet Orchard Valley subdivision!  
**Liz Burgin • 640-3315**



**NEW LISTING**  
**5703 Syracuse Road • \$312,500**  
Remodeled home in great location close to the mall, park, Greenway & schools. Four bedroom, 4 bath, 3-car garage & plenty of off-street parking. New carpet, new light fixtures throughout, stainless steel appliances, breakfast bar, central A/C, pellet stove, private patio off the master, finished basement, the list goes on & on.  
**John Watkins • 421-5516**



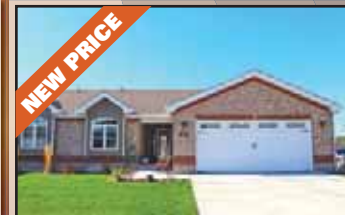
**NEW LISTING**  
**4113 Gunsmoke Rd. • \$244,900**  
Better than new townhome with open spaces off the private backyard with vinyl fencing & sprinkler system. Open floor plan, nice size kitchen with lots of cabinetry, separate dining area. New carpet, A/C, master suite with walk-in closet, finished basement with large family or could be used for a huge master suite. Located on a quiet cul-de-sac. Ready now!  
**Liz Burgin • 640-3315**



**NEW PRICE**  
**7510 Hawthorne Drive • \$480,000**  
Incredible ranch-style home in Western Hills! Five bedrooms, 5 bathrooms, including a large bonus room upstairs with private entrance. Beautiful kitchen with custom cabinetry, large walk-in pantry & so much more! Amazing views & a 4-car garage to boast!  
**Tanya Keller • 287-8230**



**NEW LISTING**  
**3570 Saratoga Street • \$307,500**  
Wonderful Energy Star certified home. Three bedrooms, 3 baths, 2-car garage. Granite counters, hardwood floors, custom tile, tankless water heater, raised panel Alder cabinetry, better than new!  
**John Watkins • 421-5516**



**NEW PRICE**  
**2305 Council Bluff • \$366,900**  
Better than new home located in The Bluffs! Amazing corner lot, beautiful features & upgrades, great window treatments, extended patio with railing & so much more! The back patio boasts an awesome retractable awning perfect for the upcoming Wyoming summer.  
**Tanya Keller • 287-8230**



**1608 Jazz Drive • \$229,900**  
This is the perfect home for a family of any size. Four bedrooms, 4 bathrooms, 2-car garage. Large fenced backyard with shed. Move-in ready with A/C, larger master suite, separate dining, family & living rooms. Don't miss out on the completely finished home.  
**Steven Lenhardt • 286-6438**



**9501 Mason Road • \$825,000**  
The great Wyoming outdoors await you in this expansive rural property just a few miles north of Cheyenne. This 9.4 acre oasis features outdoor amenities including a large heated pool with electric cover, riding arena, round pen, 4,300 sq. ft. outbuilding, horse barn & loafing shed. Entertaining friends by the pool with your outdoor kitchen, large deck, hot tub, gazebo & fire pit.  
**Tanya Keller • 287-8230**



**3116 Acacia Drive • \$420,000**  
Great income property. Price is figured on a 9% cap rate based on 2015 projections. Great area & visibility. Updated interior, new landscaping. Handicap accessible. 2,400 sq. ft. on the main level, as well as a basement. Gross lease in place.  
**Steven Lenhardt • 286-6438**

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Sales Associate



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**2535 E. 12th Street • \$120,000**

**NEW LISTING**



**"Great Little Investment!"**

Great home for a first time home buyer. Three bedrooms, 2 baths, separate units up & down or use as 1 family. It is currently on separate meters for gas & electricity. Needs some TLC.

**1818 Bluegrass Circle • \$134,000**

**NEW LISTING**



**"Move-in Ready!"**

Great little townhouse close to shopping. Three bedrooms, 2 baths, 1-car attached garage, fenced backyard & nice wood deck. All appliances, some fresh paint & clean carpets. All ready to make it yours!

**5505 Lawrence Lane • \$289,500**



**"Fashionable Twin Home Next To Greenway"**

North location, with spacious rooms & vaulted ceilings. Open kitchen with breakfast bar & formal dining. Maple cabinets & built-ins in living room. Main floor master & laundry. Central A/C, central vacuum, gas fireplace, surround sound, water softener & much more! Upper level has a den, 2 bedrooms & full bath. Electrified workshop & shed, stamped patio & water feature in park-like yard.

**7225 Bomar Drive • \$289,000**



**"A Big House With Lots Of Rooms"**

This fantastic house has a huge entry, 2 master suites or one could be a large den, 6 bedroom, 4 baths and a 2-car heated garage! Open concept with updated kitchen, dining & breakfast bar. Mature landscaping with sprinkler system and fenced backyard.

**Tract 8 Mountain Shadow South • \$59,500**



Corner tract at Shadow Ridge Road & Shadow Valley Road in Mountain Shadow South, west on Horse Creek about 15 miles. Beautiful building site on 40.53 acres with sweeping views over "The Federal." Minimal covenants. Utilities needed.

**5427 I-80 Service Road • \$75,000**



10 Acres with electricity, well, septic & several good building sites. Egbert exit off I-80. Excellent price & possibilities.

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7002 N. Milliron Road • \$470,000

NEW LISTING



**"Great Close-In Rural Horse Property!"**

Over 2,600 sq. ft. on the main level. Another 1,756 almost finished in the basement with walk-out. Warm & inviting fireplace up & a gas stove down. Newer hardwood floors & carpet. Huge master opens to large deck & patio. Great country living in a very spacious home!

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# CHEYENNE

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2016-2017

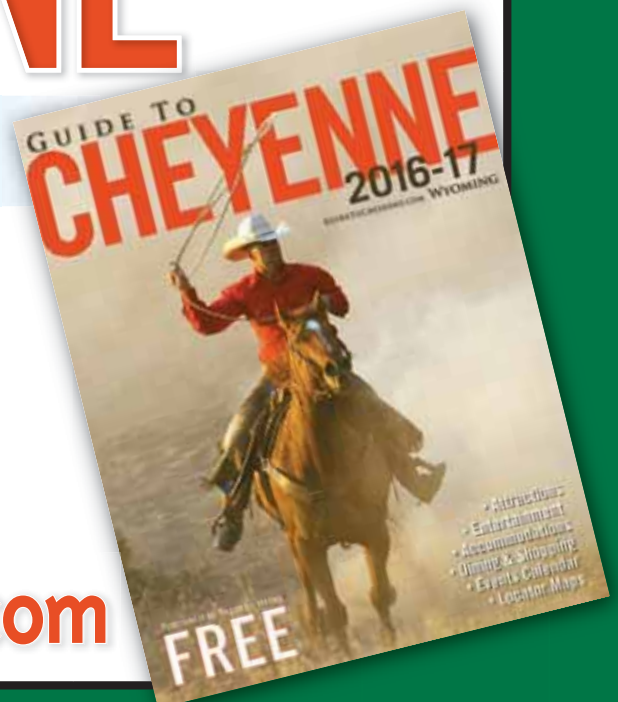
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**Barbara Kuzma**  
 CRB, CRS, GRI Broker/Owner  
**630-1070**



**2816 E. 10th St.**

**Home in move-in condition,** newer stainless steel appliances, granite countertops, hardwood floors, heated bathroom floors, new carpet in basement. Three bedrooms, 2 baths, family room down, office/den down, fenced backyard, oversized 1-car garage. **\$189,000. #64482**



**1517 Horse Creek Rd.**

The "Circle Spruce Ranch" available with approximately 132.95 acres. Perimeter of acreage is fenced. Over 5,700 sq. ft. home with 5 bedrooms, 3½ baths, a 2-car attached, plus 3-car detached garage. Indoor garden atrium. Master bedroom with master bath. Main level laundry near the bedrooms. Huge living room, dining room and family rooms. Loft for storage or a sitting room. Walk-out basement. Deck off the kitchen and dining room. Sprinkler system for yard immediately around the home. Big 960 sq. ft. barn. Only minutes from Cheyenne and located on Horse Creek Rd., paved with year round access. **\$785,000. #64324**



**3009 Holland Ct.**

**Four bedroom, 2½ bath home** with an attached 2-car garage. Master bedroom has a walk-in closet and a ½ bath. Eat-in kitchen. "L" shaped family room. Storage space in basement. Fully fenced backyard. Sprinkler system. Brand new roof going on in June! Exterior freshly painted. **\$215,000. #64578**



**4523 E. 14th St.**

**Three + bedroom, 2 bath, bi-level** with updated kitchen and family room, hobby or office and walk-out basement to large fenced backyard. Attached 1-car garage. Alley access to yard. **\$176,000. #64122**



**1820 E. 21st St.**

**Need 3 bedrooms, 2 baths** with 2-car garage and RV parking? We got one for you! Won't last long. **\$169,900. #64442**



**692 Jenny Lynn Rd.**

**Four bedroom, 3 bath home** on 40 acres. Convenient all 1-level living with nearly 3,000 sq. ft. Spacious kitchen with a huge butler's pantry. Wood stove and gas fireplace. Five-piece master bath. Sauna and workshop in the oversized garage. Stamped concrete patio. Fenced area. No covenants. **\$379,000. #64100**



**5851 Indigo Dr.**

**Beautiful 4 bedroom, 3 full bath** home with an attached and insulated 3-car garage. Hardwood floors. Open floor plan. Gas fireplace in the living room. Huge master bedroom with walk-in closet and 5-piece master bath. Basement has family room, den with gas fireplace, a partially finished 4th bedroom that can be divided to a 5th bedroom and a full bath. Fenced backyard with a patio and hot tub. **\$385,000. #64431**



**1123 Indiana Rd.**

**Three bedroom, 2¾ bath home** on 6.31 acres. Wood stove in the living room and a pellet stove in the family room. Main level laundry. Master with walk-in closet plus a 5-piece master bath. Front and back, deck, 2-car attached garage, patio, plus a loafing shed with water and electrical. **\$255,000. #64093**



**2315 E. 13th St.**

**Three bedroom, 2 bath home** with an eat-in kitchen, 2 family rooms, storage room. Newer vinyl windows on most of the main level. Fenced backyard. Two-car garage with workshop plus a carport. Low maintenance metal siding. **\$165,000. #64425**



**3742 Dover Rd.**

**Great location. Open floor plan,** master bedroom, tri-level, great kitchen open to dining room, 2-car garage. You will love this floor plan. Lots of sunshine, stucco. Main floor utilities. Four bedrooms. **\$285,000. #63965**



**5806 Kenosha St.**

**Ranch-style with full basement.** All main floor living. Cherry wood flooring, alder cabinets, tiled kitchen countertops. Gas fireplace in living room and master bedroom/bath. Master suite with 5-piece bath and walk-in closet. Needs appliances and TLC. Central A/C and 2-car garage. **\$269,900. #64393**



**4014 Darby Ln.**

**Three bedroom, 2½ bath town-home** with an oversized 1-car garage. Corner lot with a fenced backyard. Master bath and walk-in closet in master bedroom. Laundry on same level as bedrooms. **\$215,000. #64577**



**Katrina Bowers**  
 Sales Associate  
 532-1864



**Tom Colvin**  
 Associate Broker  
 640-7761



**Kaye Ellis**  
 Sales Associate  
 630-9992



**John Fitzgerald**  
 Sales Associate  
 286-7925



**Rick Grant**  
 Sales Associate  
 287-2178



**Mary Honeycutt**  
 Sales Associate  
 631-2550



**Terry Johnson**  
 Sales Associate  
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**Wendy Owen**  
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**Linda L. Reid**  
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**Donna Rose**  
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**Troy Ryan**  
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**Tanya Stogsdill**  
 Sales Associate  
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**Phoebe Swift**  
 Associate Broker  
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**Sandi Troyer-Loghry**  
 Associate Broker  
 631-9330



**Lee Wolfe**  
 Associate Broker  
 640-9900



**Ty Zwonitzer**  
 Sales Associate  
 214-7827



518 Dartmouth Ln.

**Great curb appeal!** Enjoy this lovely tri-level in north Cheyenne. Four bedrooms, 3 baths, 2-car garage, hardwood floors, sunroom, huge deck, very private backyard with mature landscaping. Don't forget to discover the heated 256 sq. ft. wood worker shop. Close to all 3 schools. **\$255,000. #63824**



523 S. Adams • Laramie

**COMMERCIAL**  
**Fantastic opportunity to own this franchise motel** in Historical Laramie, WY. America's Best Value Inn is located off I-80 (Exit 311) on to Snowy Range Rd. 33 Units plus meeting room, vending area and laundry and coin-op guest laundry. 1,100 sq. ft. owners/managers quarters boasts 2 bedrooms, 1 bath, laundry, large living room, kitchen/dining area. **\$1,200,000. #61686**



254 Desmet Dr.

**This one won't last!** Cute 3 bedroom, 2 bath home with a finished basement. **\$157,000. #64546**



211 E. 19th St.

**COMMERCIAL LEASE**  
**Ideal commercial location downtown.** Can be used for offices, retail, warehousing, etc. Over 4,400 sq. ft. of main level space plus 4,400 sq. ft. in the basement and 2,000 sq. ft. of storage space. Off-street parking as well as curb parking available. **Lease. #61185**



4831 Main Ave. • Carpenter

**Horses allowed on this .83 of an acre lot** with 1½-story home located in Carpenter, WY. Three bedroom home plus 2-car detached and 1-car detached garages. Outbuildings. **\$133,900. #63571**



1517 Horse Creek Rd.

**Close-in rural property on 19.85 acres.** Five bedroom home, 3½ baths, 2-car attached and 3-car detached garages. Home is over 5,700 sq. ft. including an indoor garden atrium, huge living room, dining room, plus a loft. Walk-out basement. Deck off kitchen and dining room. Immediate yard has a sprinkler system plus there is a big 960 sq. ft. barn. **\$549,000. #61103**



6228 Northview Dr.

**Large 5 bedroom, 3½ bath home** in north Cheyenne. Huge eat-in kitchen plus a formal dining room. Separate office area. Master bedroom features a huge walk-in closet, master bath with a jetted tub plus amazing views of Cheyenne and the Rockies. Finished basement. Central A/C. Fenced backyard with a patio, pond and sprinkler system. **\$425,000. #63406**



109 Elm St. • Pine Bluffs

**COMMERCIAL**  
**Commercial property in Pine Bluffs** with retail and office space in front of building and warehouse, storage or shop area plus parking. **\$100,000. #58282**



4112 Independence Dr.

**Great home!** Possible 6 bedrooms, 2-car garage attached, large fenced lot. Mature trees. Three bathrooms, bi-level, fenced yard. Beautiful landscaping. **\$202,000. #64505**



5621 Sycamore Rd.

**Four bedroom, 2¾ bath, 2-car attached garage.** Updated and remodeled home with fully finished basement. Formal dining room with a see-through fireplace to the living room. Huge sunroom on the back of the home plus a separate greenhouse. Efficient hot water heat and radiant cover heating. Main level laundry. Fenced backyard. **\$325,000. #64507**



879 E. Cabot Rd.

**Need vehicle storage?** Then this is the property for you! Detached 28x36 heated 3-car garage/workshop plus oversized attached 2-car garage! Home on a crawl space with 3 bedrooms, 2 baths, dining room and eat-in kitchen, pellet stove in large living room. **\$219,000. #62747**



669 Wapiti Tr.

**Large ranch with full basement.** Five bedrooms, 1,457 sq. ft. up (total 2,914), 3 baths, 2-car attached garage. Lots of trees on a drip system. Fenced yard, sprinkler system in backyard, paved road and fireplace. **\$305,000. #62248**



4315 Rawlins St.

**Three bedroom, 2 full bath home.** Hardwood floors in the kitchen and living room. Kitchen pantry. Large 5-piece master bath. Newer furnace and roof. Fenced backyard. The basement has been framed out for additional bedrooms, bathroom and family room. Both baths have been remodeled. **\$159,000. #61982**

## AVAILABLE LOTS/LAND

TBD Main St., Burns			
Lot #4	0.25 Acre	\$18,000	#49929
TBD Prairie Ave., Burns			
Lots #7, 8, 9, 10, 11, 12	0.25 Acre Ea.	\$18,000	#49931
Chuck Wagon Rd.			
Tract 6	5 Acres	\$45,000	#57183
Piper Ln.			
Lot 18	2 Acres	\$40,000	#57187
TBD Painted Horse Tr.			
Lot #14	1.76 Acres	\$155,000	#61192
TBD Spring Ct.			
Multi-Family Lots!	.73 Acres	\$250,000	#62728
XXX Anna Lp.			
Tract #16	3 Acres	\$65,000	#62860
TBD Ninemile Blvd. • Perfect for earthberm or walk-out basement			
	13.05 Acres	\$84,900	#63311
S. Table Mountain Lp.			
Tract 173	9.99 Acres	\$27,900	#63873
760 S. Table Mountain Lp.			
	9.98 Acres	\$27,900	#63874
TBD Parsons Pl.	1.36 Acres	\$99,500	#63990
TBD Indiana Rd.	6.35 Acres	\$40,000	#64095
XXX Barn Dance Blvd.	39.74 Acres	\$85,500	#64408
E. Four Mile Rd.			
Parcel 1	.20 Acres	\$65,000	#64463
E. Four Mile Rd.			
Parcel 2	.20 Acres	\$55,000	#64464



**603 E. 17th Street Cheyenne, WY 82001**  
**307-638-8660**



**Visual Tour On These Homes**



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## Kaye Ellis

Sales Associate

### 630-9992

kayeellis@bresnan.net



## LAND

5-Acre tract east of Cheyenne, across from small airport runway, fenced. #57183  
**\$45,000**

Most of my listings have sold. Your home could be listed right here!

### Call me at 630-9992

## LAND

2-Acre tract east of Cheyenne, includes access to a 4,000' airport runway. #57187  
**\$40,000**



**603 E. 17th Street Cheyenne, WY 82001**  
**307-638-8660**

Visual Tour On These Homes



## Linda L. Reid

Sales Associate

### 631-3495



### 518 Dartmouth Ln. • \$255,000

Great curb appeal! Enjoy this tri-level in north Cheyenne. Four bedrooms, 3 baths, 2-car attached garage, hardwood floors, huge deck, very private backyard with mature landscaping. Sunroom and don't forget to discover the heated 256 sq. ft. woodworking shop. Close to all schools. This charming home is in a wonderful quiet neighborhood.





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307-634-9219

311 W. Lincolnway  
Cheyenne, WY 82001



FEATURED PROPERTY



5220 Brianna Ct.  
\$265,000

Great maintained property, hardwood floors on entire main floor. Three bedrooms, 3 bathrooms, 2-car garage. Large kitchen space, 2 jet tubs, amazing landscaping, sprinkler system, partially finished basement just waiting for the finishing touches.



Celebrate Frontier Days™



\$2,500 Selling Bonus  
good through end of July

574 Chimney Rock Lp. • \$369,900  
Four bedrooms, 3 bathrooms, 3-car garage. This stunning open floor home will take your breath away! Custom tiles, designer paint, gourmet kitchen, walk-out basement with garden level plus 2-story family room, eat-in kitchen, stainless steel appliances. Too many luxurious touches to name!



1724 Fetterman Dr.  
Laramie • \$123,999

Two bedroom, 1 bathroom condo that is close to public transportation. Spacious living room and open concept kitchen with nice sized bedrooms and plenty of closet space.



Home Warranty

5106 Ridge Rd.

Three bedrooms, 2 baths, 2-car garage townhouse. Nice home perfect for current renter who wants to own or investor looking for a great property. Lots of room and a large detached garage.



258 Linda Vista, Torrington

Great location and view from this brick home with walk-out basement on an elevated lot overlooking the town. New floors, entry, kitchen, dining room and hallway. Newer roof, back deck, 2 fireplaces, sprinkler system and more in a well maintained neighborhood!



1503 Spring Creek Rd.

Very nice home in Laramie with a great wooden ceiling inside. Corner lot with off-street parking available. Great home or investment property.



Dakota Crossing

13 Lots Available  
For Building Your Dream Home  
In Dakota Crossing  
Using Your Plan Or Ours!  
307-509-0747 for info.



821 S. Table Mtn Lp. • \$220,000

Four bedrooms, 3 baths, 2-car garage, 10-acre ranchette just west of town. Roomy ranch-style home with radiant floor heat, finished basement, oversized garage, large barn. Owner will carry financing. Sold "As Is."



5002 Sherman Hills Dr.  
Laramie • \$320,000

Nice 4-Plex Investment Property In Booming Laramie, WY! Close To UW And Shopping, Off Street Parking, All Units Are 2 Large Bedrooms & 1 Bath. Units B & D Have Beautiful Brick Fireplaces. Nicely Landscaped With Sprinkler System. A Fresh Coat Of Paint Will Make This The Perfect Investment Property!



\$1,500 Selling Bonus  
good through end of July

3521 Shawnee St. • \$344,900

Three bedrooms, 2 bathrooms, 2-car garage. 9' wall basements, fully insulated garage and great exclusives throughout the inside.



\$1,500 Selling Bonus  
good through end of July

3515 Shawnee St. • \$347,900

Three bedrooms, 2 bathrooms, 2-car garage. 9' wall basements, fully insulated garage and great exclusives throughout the inside.



Home Warranty

122 Pershing Blvd. • \$250,000

Three bedrooms, 2 baths, 1-car garage. Very charming home near the Avenue's. Plenty of room for you and your family. Charming throughout the entire place. You will love it.

Accepting Commercial Listings and Leasing



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Broker  
307-286-0729



Shawn Ajdari,  
Associate Broker  
307-509-0747



Jim Walford,  
Realtor  
307-630-3455



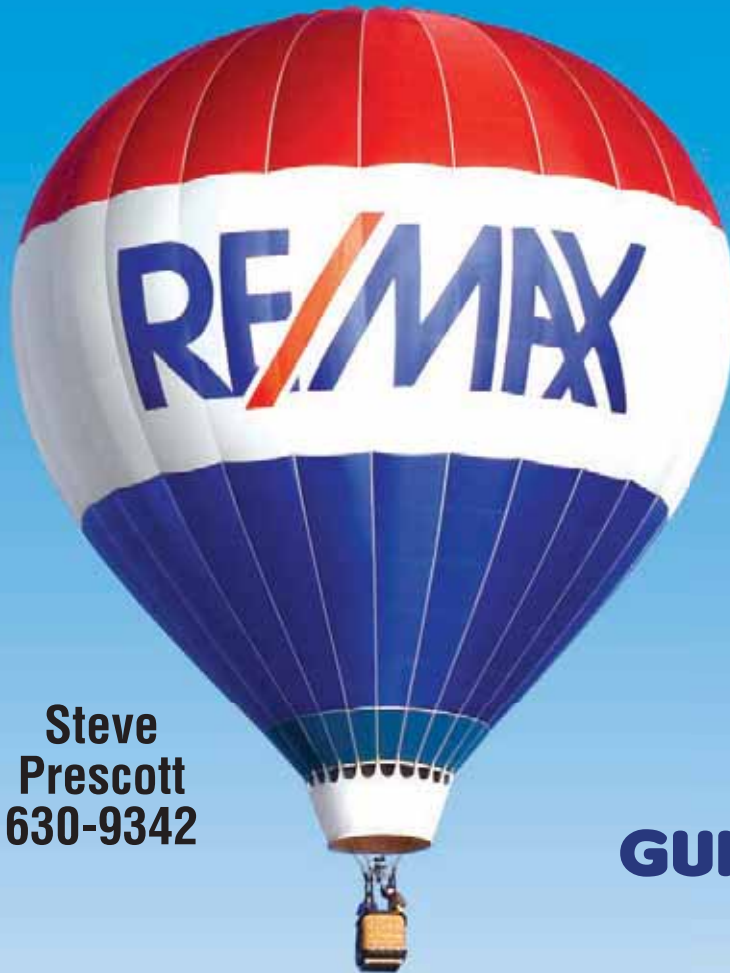
Halley Trembath,  
Realtor  
719-359-2375



Kathie Broughton,  
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**Matt Dyal**  
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**Jason West**  
757-7921



**Stephanie VanVekhoven**  
275-5897



**Ed Bales**  
631-7567



**Pam Taylor**  
421-8661



**Dominic Valdez**  
970-980-4098



**Mark Puett**  
286-2472



**Christina Walton**  
256-2349

**7603 Michelle Joy Heights**

**\$539,900**



- Spacious 6 bedroom, 4 bath home located on a huge lot at The Pointe
- Upgrades include remodeled kitchen, wifi thermostat, whole house humidifier, and 3-zone heating and cooling system
- Basketball/volleyball court and swing set in backyard

**Denise Fitzpatrick • 421-3147**

**906 Teresa Circle**

**\$439,000**



- This expansive 5 bedroom, 3 bath ranch style home is in excellent condition backing up to the greenway
- Finished basement with 10' ceilings, game room and wet bar
- Hardwood floors, custom cabinets, granite counter tops, and many other upgrades

**Marc Woods • 631-9300**

**3501 Amherst St.**

**\$242,900**

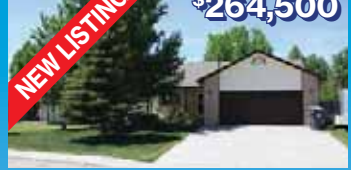


- 3 bedroom, 3 bath Eastridge home with many upgrades, including newer windows, carpet, and fresh paint
- Crown molding, new Acacia floor in living, dining, kitchen and main bath
- Upgraded furnace and A/C. Lower level has wood insert to heat home

**Ed Bales • 631-7567**

**900 Colonial Dr.**

**\$264,500**



- This 3 bedroom, 2 bath home in Sun Valley is a must see!
- New interior paint and new hardwood in dining room
- Covered back patio, mature trees and central air

**Larry Weeks • 631-8006**

**2009 Gettysburg Dr.**

**\$282,000**



- Plenty of room in this very well maintained 5 bedroom, 3 full bath home
- Open floor plan with vaulted ceilings, main floor master and laundry, garden level basement
- Central air and fenced backyard with a deck and dog run

**Stephanie Van Veckhoven • 275-5897**

**2349 Wind River Trl.**

**\$499,000**



- Beautiful, bright 4 bedroom, 3 bath home perfectly located in Mustang Ridge
- Spacious floor plan, hardwood in kitchen and dining areas, stunning kitchen w/granite countertops
- Luxurious master suite w/five piece bath and huge walk-in closet. Wet bar in basement.

**Dominic Valdez • 970-980-4098**

**215 Cribbon Ave.**

**\$139,900**



- Great little 3 bedroom home in a quiet neighborhood. Fenced front and back yards
- Large 24x24 detached 2-car garage located in back with alley access
- Space for camper, boat or trailers in backyard

**Jason West • 757-7921**

**2360 Rd. 217**

**\$375,000**



- Large 5 bedroom, 3 bath ranch-style home with 2 kitchens and dining areas
- Solar panels and 2 wood stoves
- Property could be a duplex

**Steve Johnson • 630-2330**

**6202 Whitney Rd.**

**\$324,900**



- This 4 bedroom, 2 bath home is full of potential! New floors, roof, and paint completed in May
- Rolling 5 acre lot on paved roads less than 2 miles from city limits
- On the edge of Cheyenne's newest subdivision, "Woods Landing"

**Marc Woods • 631-9300**

**18 Antelope Dr., Wheatland**

**\$119,900**



- Enjoy spacious 1 level living in this 5 bedroom, 3 bath home on over 1/3 acre just outside of Wheatland
- Store your toys in the huge 27x36 oversized 2 car garage!
- Extra storage in the basement for company. Bonus 9x12 storage shed

**Dominic Valdez • 970-980-4098**

**320 Borough St.**

**\$205,000**



- 4 bedroom, 3 bath townhome with over 2,400 sq. ft.! Large master suite with huge walk-in closet
- Upgraded appliances with all stainless steel in kitchen, front load washer & dryer
- Basement finished with 2 additional bedrooms and wet bar. All bathrooms have tiled floors and shower surrounds

**Brandon Swain • 214-9634**

**521 Chimney Rock Lp.**

**\$389,000**



- Great 5 bedroom, 4 bath ranch style home with upgraded finishes
- Finished basement and garage that is perfect for your family
- Solid wood trim with hardwood floors in the great room. All this and a 30x40 shop

**Steve Johnson • 630-2330**

**848 Shadow Mountain Tr.**

**\$474,900**



- Sprawling 7 bedroom, 3 bath ranch style home is a must see!
- Finishes include granite and tile surfaces, hickory floors, wet bar and home gym
- Over 4,400 sq. ft. of immaculate home!

**Steve Prescott • 630-9342**

**3412 E. 11th St.**

**\$197,500**



- Spacious ranch style home in wonderful condition!
- Hardwood floors, updated kitchen, newer carpet and a gas fireplace
- Large addition with family room and third bedroom. Great yard, mature landscaping

**Steve Prescott • 630-9342**

**2210 E. 10th St.**

**\$189,000**



- This 3 bedroom, 2 bath home has many special features, big laundry room, 2 sun rooms
- Granite counters, jetted tub, basement apartment, oversized 2-car garage
- Fenced yard, garden spot, 2 storage sheds, newer concrete

**Lodema Klimt • 631-4281**

**340 Lafayette Blvd.**

**\$339,000**



- 3 bedroom, 3 bath home with exceptional views on the edge of town, stunning new kitchen
- Formal dining, new bathroom flooring and vanities, new carpet, wet bar
- Two master suites, sprinkler system, oversized garage, central air, private deck

**Lodema Klimt • 631-4281**



**Brandon Swain**  
214-9634



**Lodema Klimt**  
631-4281



**Denise Fitzpatrick**  
421-3147



**Adrianna "Adri" True**  
287-7320



**Margene Zavorka**  
630-6992



**Larry Weeks**  
631-8006



**Steve Johnson**  
630-2330



**Marc Woods**  
631-9300



**Larry Gardner**  
631-6895



**Alyssa Holbrook**  
631-6262

**Tract 9 Horse Creek Rd.  
\$40,000**



This is a great lot right at the corner of Horse Creek and E. Mule.

**Lots In Cimarron Estates**

- TR 22 Lacy Dr. • 7.92 acres  
\$70,000
- TR 27 Iriquois Dr. • 8 acres  
\$85,000
- TR 48 Lacy Dr.  
\$75,000



**Larry Gardner  
631-6895**

**2206 Calin Ct.  
\$374,900**



Fantastic 3 bedroom, 3 bath new construction home by GJ Gardner Homes. Spacious open concept kitchen with solid wood cabinets and granite counter tops. Act now to customize your own finishes!

**35 Granite Trail  
\$685,000**



This home is amazing and features open living with 3 bedrooms, 2 baths, hot tub and great views! Natural spring and pond on property, 2 shops and three 40 acre lots with separate legals that can be sold. This home is one of a kind!



**3441 Foxcroft Rd. • \$166,000**  
Affordable family home w/3 main floor bedrooms in Eastridge, great central location to everything! Lovely wood plank & beamed ceilings, updated kitchen counters, back splash and tile flooring. Hardwood floors, friendly front porch, sun porch in back, hot tub included. Vinyl windows and updated furnace. 12x16 outbuilding.



**112 W. 6th Ave. • \$235,000**  
Large ranch-style townhome on the Avenues! Two main level bedrooms and one down, open plan with vaulted ceilings and passive solar design. Sun room entry for plants. 1-car attached garage with extra parking in back. 3 baths, walk-in closets, main floor laundry. Delightful covered patio. HOA. \$171 includes snow removal, lawn care, dwelling insurance.



**2207 S. 4th Ave. • \$179,000**  
Wide open space inside and out! 1/2 acre fenced corner lot, oversized 2-car garage, gorgeous kitchen, 2 bedrooms, 2 baths, jetted tub, pellet stove and huge great room!

**Lodema Klimt  
Associate Broker**



**(307)631-4281  
Lodema@Bresnan.net**



**340 Lafayette Blvd.  
\$339,000**  
Exceptional views, quiet north location, one level living, 2,648 sq. ft., large room sizes, new kitchen, 3 bedrooms, 3 baths, huge pantry, 2 master suites, oversized 2-car garage with 9 foot door and workshop, sprinkler system, central air, no steps at all!



**963 Mallard Ln.  
\$168,000**  
Here's your chance to own a "hobby farm!" Super set up for cow or hog operations, 2 new chicken brooding houses, nice secluded location on county roads, 4-stall barn with calving area, separate horse and cow corrals, 3 separate hog houses, home has great views, manufactured home, 3 large bedrooms all with walk-in closets, quiet and peaceful location at the end of the subdivision! Govt. loans ok!



**1140 Cottonwood Dr.  
\$219,000**  
Lovingly cared for by the original owner! Clean as can be! Super location just across from park and school, 3 bedrooms together, 2 baths, 2-car garage, sprinkler system, and central air too!



**Tract 148, Billy the Kid Blvd.  
\$65,000**  
36.75 Acres of gorgeous private views. Ideal walk-out basement building site. Best accessible county roads on corner lot. Up to 12 horses, cattle, sheep, goats or swine and 40 poultry! 20 Miles northeast off Torrington Highway. Located in Diamond Estates, turn north on Co. Rd. 137.



**1233 Wendy Ln.  
\$369,000**  
Better than new at The Pointe! Large 4 bedrooms, 3 baths, ranch design. Enjoy the custom finishes in the family/game room with delightful wet bar area (pingpong and foosball table are included). Large open kitchen and formal dining, alder cabinets and cherry floor, fenced lot that backs to green space, stone corner fireplace. Main floor laundry includes, washer and dryer too!



**2210 E. 10th St.  
\$189,000**  
Gardener's delight! This sweet home has many special features! Flowers, shrubs, and trees everywhere! Large main floor w/big laundry room and 2 sunrooms, storage everywhere, cultured granite counters, jetted tub, basement apartment with separate entrance, 2-car garage/shop, vinyl windows and siding, sprinkler system, fully fenced, garden spot, 2 storage sheds.

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**Kevin TRUE**  
630-8290

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**Adrianna "Adri" TRUE**  
287-7320

**NEW PRICE**



## 1820 Ridge Rd.

Rare opportunity to own the Real Estate as well as an established turnkey, operating restaurant with liquor license. Continue the Mexican food experience, or create your own identity. \$989,999.

## 2208 Leads Pl.

This classic home has 5 bedrooms and 4 baths. Granite countertops in kitchen, den with fireplace, separate dining, and fresh paint. Large rooms and plenty of storage. Covered patio and huge yard. \$354,000.

**NEW PRICE**



**NEW PRICE**



## 116 E. 27th St.

Great home close to downtown, remodeled with lots of upgrades and features to make it a very comfortable family home. Large separate dining and living room, hardwood floors, new windows and granite counters in the kitchen. \$264,000.

## 311 E. 2nd Ave.

Lovely 3 bedroom Avenues home with lots of room and brick exterior. Plumbing and electrical have been updated. Big, open living and dining room with hardwood floors on main level. Large 1-car garage and carport with alley access. \$249,999.



## 2622 Warren Ave.



This delightful, well cared for 3 bedroom, 2 bath, 2-car garage historic home on a corner lot features a large separate dining room, hardwood floors and a bright sun porch. \$244,900.

## 1101 Long Valley Rd.

Immaculate home just remodeled and ready for new owners. New carpet, paint, stainless steel appliances and bathrooms. Fenced backyard. Corner lot with only 1 neighbor for an open-outdoor feel. 2-car finished garage with walk-in to basement for easy access to laundry and 1/2 bath just inside the door. \$239,500.



**NEW LISTING**

## 4708 E. 13th St.



Just remodeled and in very nice condition; clean and move-in ready. 2-car garage with alley access. Covered patio and fenced private backyard. Upper bath is twin entrance style to service the master bedroom. Lower bath is 3/4 with seated shower. This home is nicer than new. \$169,000.

**NEW LISTING**

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**STEVE  
PRESCOTT**

**630-9342**

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WWW.STEVESSELLSCHEYENNE.COM



**848 Shadow Mtn. Trl. • \$474,900**



**NEW PRICE**

- This sprawling ranch-style home is a must see! Over 4400 sq. ft.
- 7 bedrooms & 4 bathrooms, main level office, formal dining room & enclosed "Florida Room" with lots of glass & pellet stove. Wet bar, gas fireplace & home gym.

**2777 Chrysler Rd. • \$549,900**



- This incredible "farm house" is tucked away on 23 secluded acres that border state land
- Home features formal living and dining, main floor master and laundry, huge deck and covered wrap-around porch
- Three pastures are horse-ready and fenced. Three-stall barn with tack room and a huge 90x50 outbuilding

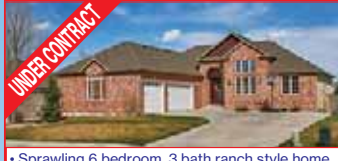
**3412 E. 11th St. • \$197,500**



**NEW PRICE**

- Spacious 4 bedroom, 2 bath, ranch-style home in wonderful condition
- Gleaming hardwood floors, updated kitchen, newer carpet and gas fireplace
- Large addition with family room. Great yard with mature landscaping

**7703 Hawthorne Dr. • \$475,000**



**UNDER CONTRACT**

- Sprawling 6 bedroom, 3 bath ranch style home, located in Western Hills North is perfect in every way! Incredible open layout with vaulted ceilings.
- Spacious kitchen is well appointed with freestanding island. Huge basement rec room & large family room
- High-end finishes throughout to include custom tile work, hardwood floors & granite surfaces.

**TBD Zelma Dr. • \$389,900**



- This custom designed floor plan by Innovative Homes, Inc. boasts over 1181 square feet on the main level & a matching unfinished basement
- Rich wood, tile, rock & granite accents can be found throughout the home

**2037 Painted Sky Rd. • \$525,000**



**UNDER CONTRACT**

- 3 Bedroom, 4 bath sprawling ranch-style home on 37 fenced acres. Almost 2,500 sq. ft. on main level, full walk-out basement. Main floor den/office
- 50x30 steel constructed outbuilding. Over 1,100 trees and shrubs
- I-25 north to Ridley Rd., west to Painted Sky Rd.



**1502 Twin Mountain Rd. • \$449,900**

**NEW LISTING**

Spacious ranch style home sits on 2.38 acres in Murray Hill Estates! Generous room sizes throughout including an updated eat-in kitchen with granite, formal dining room, main floor laundry and large family room. Mature trees and shrubs, fenced backyard and sprinkler system. The heated/insulated outbuilding is a perfect shop but can also fit 4 cars. Don't miss it!

**215 Cribbon Ave.**  
**\$139,900**



**NEW LISTING**

This is a great little 3 bedroom home in a quiet neighborhood. Fenced front and back yards with a large tree to keep the house shaded from the heat of the sun. Large 24'x24' detached 2-car garage located in back with alley access. Also has a place for a camper, boat or trailers in the backyard.

**4321 South Pass Tr. • \$40,000**



**NEW LISTING**

This 2005 Clayton home, Cheyenne edition has 3 bedrooms and 2 baths and sits in the calm and secluded environment of South Fork Park. New carpet and ready for new owners.

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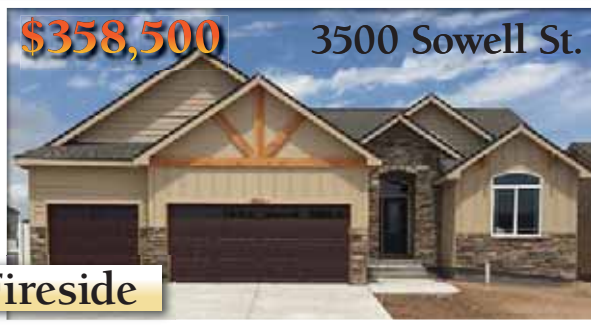




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**\$358,500** 3612 Sowell St.



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3615 Harvey St. **\$348,500**



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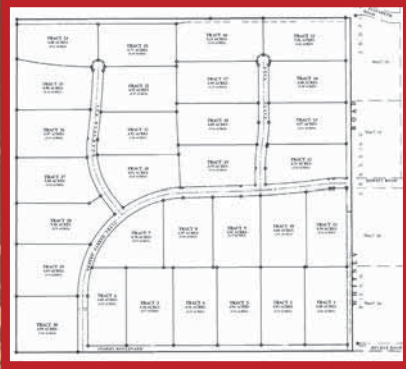
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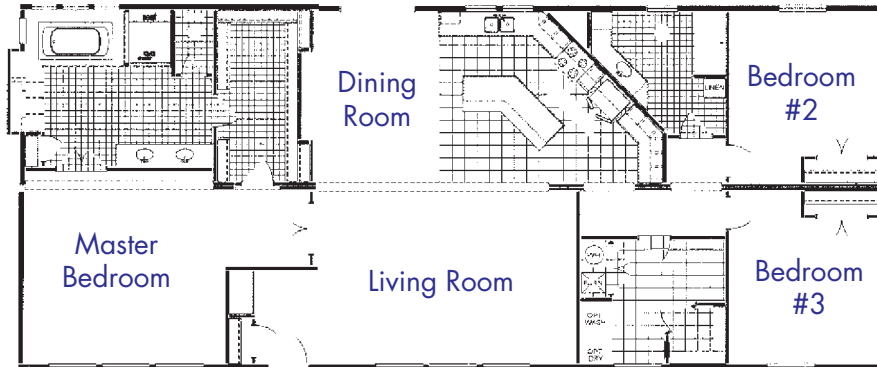
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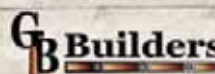
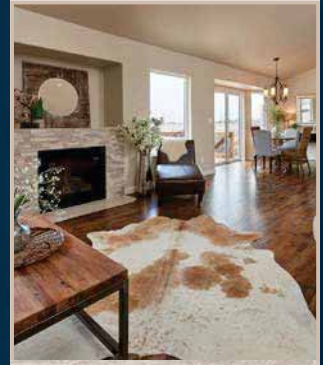
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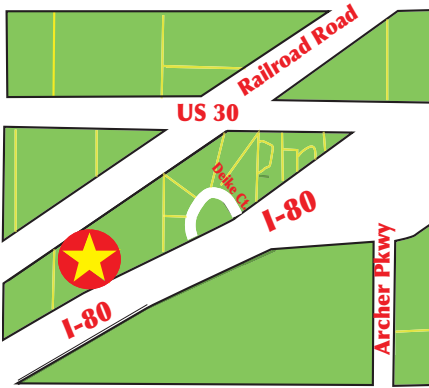


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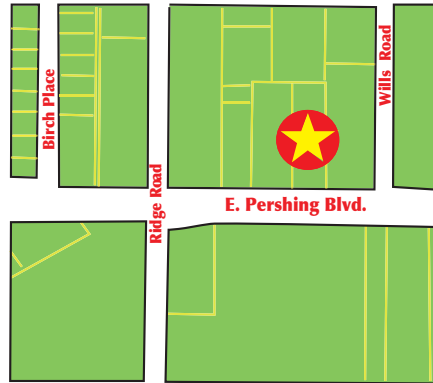
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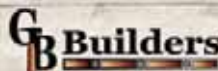
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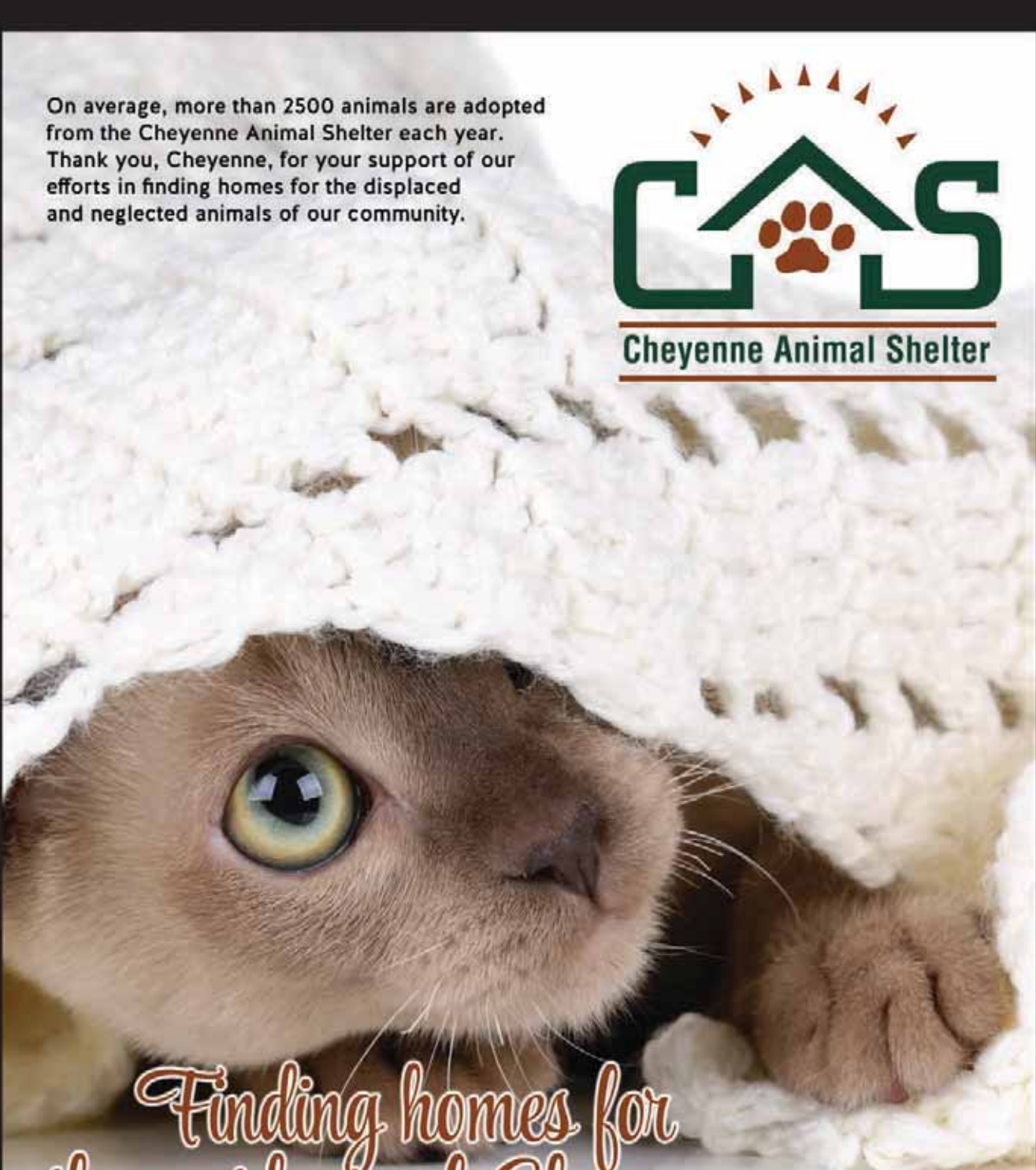
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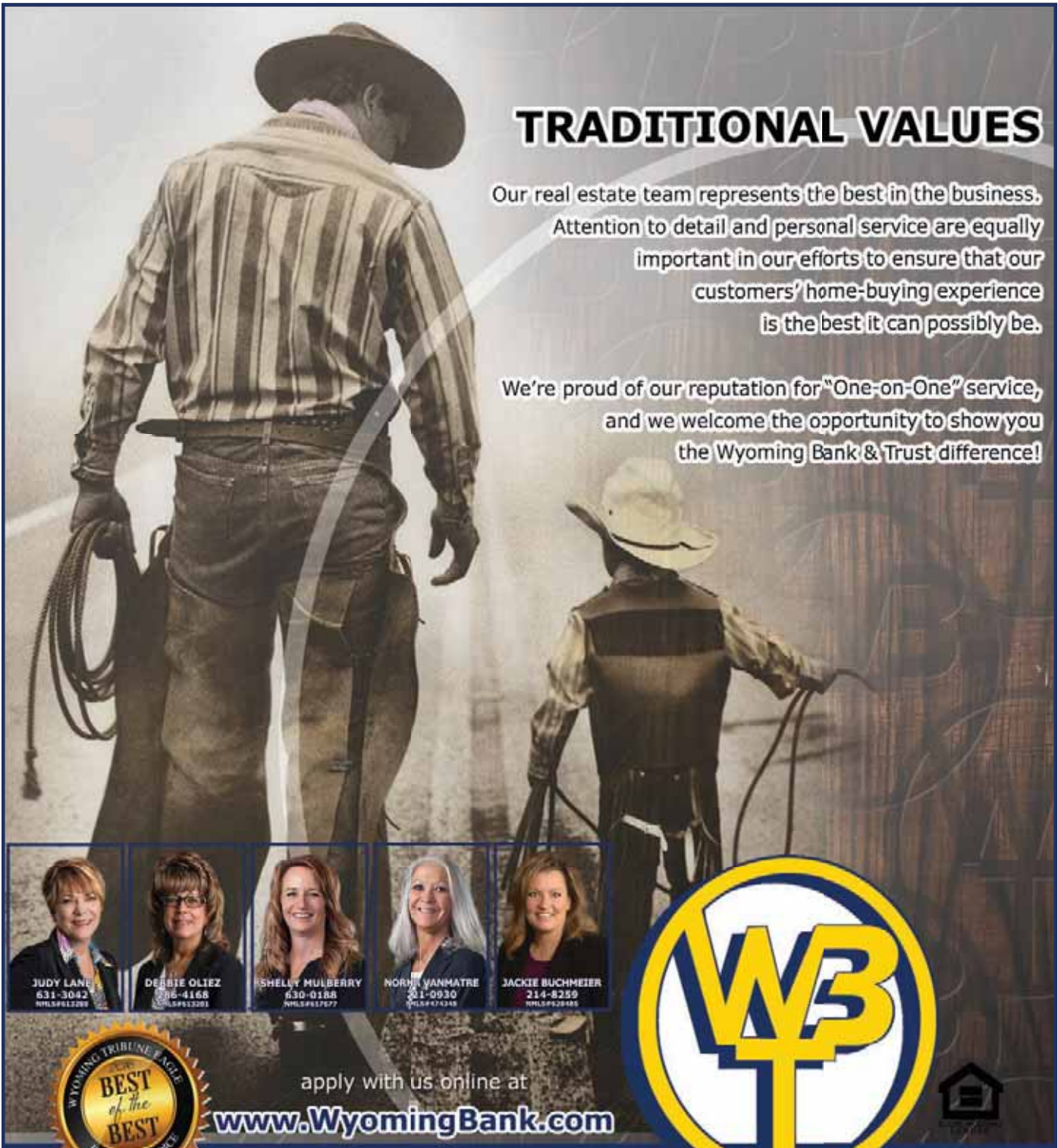


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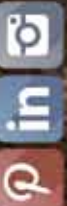




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**2566 Falling Star Loop** **\$848,550**



**1302 Dorothy Lane** **\$419,900**

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**7224 Heritage Drive** **\$400,000**

Fall in love with this beautifully updated Western Hills home! Amazing living space with vaulted timber ceilings, large sun room, covered back patio & mature landscaping.




Warm and inviting custom home with expansive ceilings, 2 main floor master suites & 5 addit'l BRs. 7 baths, sunroom, formal dining, art studio, exercise room & more!

**615 Gramercy Drive** **\$699,000**




Great Neighborhood. Sun flows into this free and open 5 BR, 3.5 BA perfectly located unique ranch-style home secluded on a quiet cul-de-sac in Western Hills.

**909 Laredo Court** **\$449,900**



**1205 Affirmed Road** **\$400,000**

Terrific home on 8+ acres. New granite counters & stainless appliances, master suite. Large fenced yard. Detached shop has 15x31 finished 'cave' with BA, wetbar & arcade.



**1346 Dorothy Lane** **\$399,900**

Open floor plan with a large kitchen and pantry! Hardwood floors, 3-sided fireplace, 2-tiered deck, and walkout bsmt with family room and pellet stove.



**1126 White Water Court** **\$335,000**

Gorgeous Pointe twin home with all the bells and whistles! Walnut floors, decorative tile, Corian, gas fp with cultured stone, granite countertops, finished bsmt.



**4013 Firewalker Trail** **\$249,900**

Beautiful, practically new 4 BR/4 BA townhome! Amazing fully finished basement. Wonderful townhome in the always popular Saddle Ridge subdivision!



**1020 Baltic Road** **\$232,900**

3 BR/2 BA berm-style home with oversized 3-car attached garage. 1440 SF garage w/ 12' ceilings, 9' and 7' doors. Master BR has 3/4 master bath. Lovely remodeled kitchen!



**5513 Dell Range Blvd.** **\$219,900**

One-level ranch with 3 BR/2 BA, mature landscaping on 1.2 acres within city limits. Impressive heated insulated 4-car garage/workshop.



**5023 Rock Springs Street** **\$215,000**

Beautifully cared for twin home w/ main floor master & laundry! Huge deck, covered patio! 3 BR, 2 full BA & 2 car garage on corner lot! Walking distance to elementary school!



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6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD



# move up to GRANITE HILLS & THOMAS HILLS

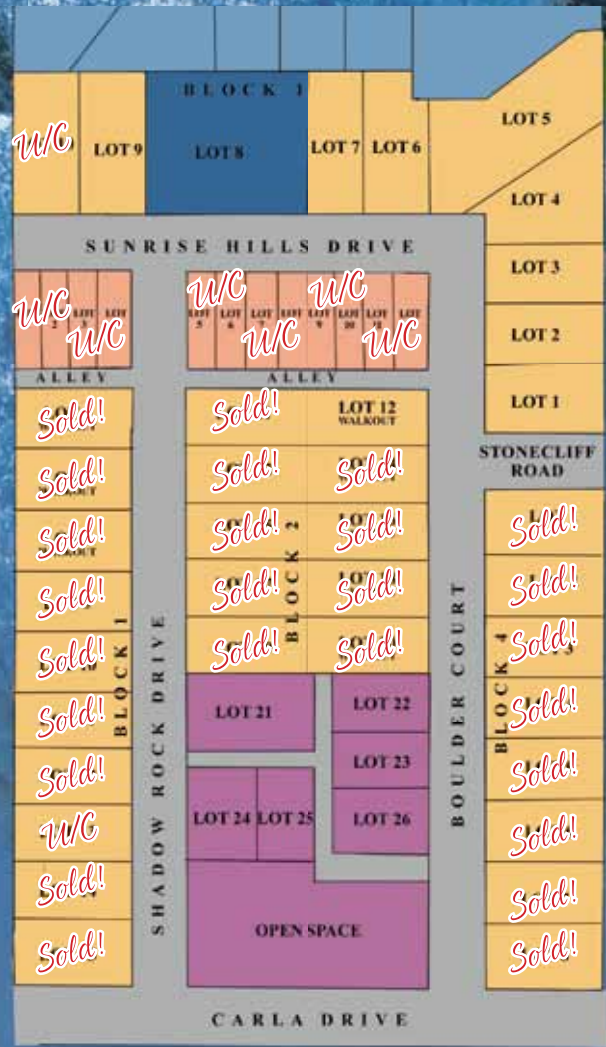
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Just north of King Sooper's  
Marketplace

New single-family home and  
multi-family sites available now

North on Ridge Road off Carla Drive  
Perfectly designed  
Cheyenne Light Fuel & Power  
City water and sewer

Single family lots \$59,900  
Townhome lots available –  
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*Design Guidelines Available*



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Patti Schmidt



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New Listing!

1633 Fremont Avenue  
Offered at \$210,000

This wonderful family home has a Garden Level Basement. There's new carpet, newer windows, furnace and roof - even the exterior has been newly repainted! This three bedroom, two bath home has a separate office, and the wonderful kitchen comes totally equipped with all the appliances. There's hardwood floors, and an oversized 2-car detached garage with workshop, which is accessed through a paved alley. Plus, there's even a carport!



8382 Arrow Wood Lane  
Offered at \$449,900

Under Contract!



2008 Eagle Drive  
Offered at \$410,000

Under Contract!



7509 Hilary Drive  
Offered at \$360,000

Under Contract!



Kim Brokaw

307.631.4096  
kimbrokaw  
@cheyennehomes.com



214 Palm Springs

NEW LISTING!

Executive townhome in coveted Eagle Ridge. This spacious 4-bedroom, 3-bath home features a large kitchen with new gunmetal appliances. Fully landscaped back yard with covered patio and sprinkler system. Tons of storage, closets, and room to spread out. OFFERED AT \$330,000



727 Oak Valley Lane

UNDER CONTRACT!

Perfect space for entertaining. Eat-in kitchen offers new stainless steel appliances and walk-in pantry. Spacious master suite on main floor. Family room, bedroom, full bath, and storage room in basement. Beautiful yard and freshly painted covered deck! OFFERED AT \$379,900



2415 Road 218

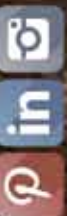
SOLD!

Immaculate close-in rural home. Three bedrooms, three baths, formal dining, inviting sunroom. Detached 30x40 outbuilding perfect for workshop, garage, or barn. 10+ fully fenced acres, beautiful landscaping, mature tree row. OFFERED AT \$354,500

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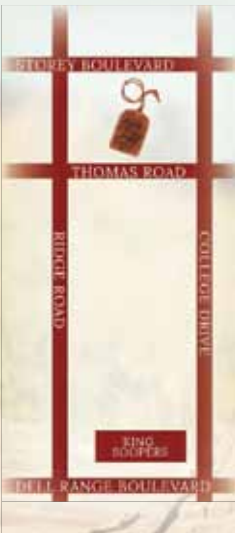


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 \$439,900



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**3501 SOWELL STREET**  
 \$386,300

*under contract!*



**3507 SOWELL STREET**  
 \$318,100



**3512 THOMAS ROAD**  
 \$379,800



**JOE SVEC**  
 307.640.9865  
 joesvec@cheyennehomes.com



**JESSICA SCHULZ**  
 307.256.2938  
 jessica@cheyennehomes.com



**PAT SIMENTAL**  
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 psimental@cheyennehomes.com



**DESIREE HANNABACH**  
 307.287.1175  
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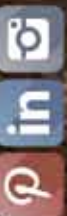
**JARED AUGUSTIN**  
 307.399.5551  
 jared@cheyennehomes.com

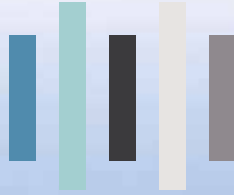


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# THE TERRACES

at The Pointe



### THE WILLSHIRE

6534 Faith Dr  
\$303,600

- 2,022 SQ FT
- End Unit
- Gas Fireplace
- Finished Garage Level

### THE WILLSHIRE

6536 Faith Dr  
\$276,600

- 1,658 SQ FT

### THE BRENTWOOD

6538 Faith Dr  
\$279,600

- 1,653 SQ FT

### THE WILLSHIRE

6540 Faith Dr  
\$276,600

- 1,658 SQ FT

### THE BRENTWOOD

6542 Faith Dr  
\$288,600

- 1,653 SQ FT
- End Unit
- Gas Fireplace



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### 7513 FRANKIE DRIVE



**New Price!**

A TRIPLE DELIGHT! Morning, noon, or night, you can serve any meal on the breakfast bar at this almost new 1,623 sq. ft. home! Three bedrooms, two full baths to include a master suite with jetted tub and separate showers, luxurious living room, central air, oversized 3-car attached garage. Full unfinished basement. \$389,500 Please call Joe Prunty 630-0950 for further information.



See the virtual tours @ [www.Move2Wyo.com](http://www.Move2Wyo.com)

#### 761 Oakhurst Drive



**\$299,900 New Listing!**

Amazing home in Western Hills! 3 upper level BR, + bsmt is finished w/ rec room, office & spacious 4th BR. Laundry up or down! Beautiful yard w/ sprinkler system & water feature.

#### 1630 Summerset Dr.



**\$299,900 New Listing!**

Spacious Sunrise Estates home! 3 upper level bedrooms, main floor great room, and bsmt complete with 4th BR, rec rm & office. Deck, fenced yard, on a quiet cul-de-sac.

#### 3653 Saratoga Street



**\$419,500**

Beautiful home w/ hardwood floors, designer tile, master suite w/ deck access. Open floorplan w/ deluxe loft, Finished bsmt. On corner lot w/ fenced back yard & 3-car garage.



#### 6909 Pointe Pinnacle



**\$355,500**

Comfortable elegance, sensational style! This custom townhome boasts walkout bsmt overlooking fountain, pond & walking paths. Huge finished garage. Stunning!



# Tammy Grant

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tammy@cheyennehomes.com

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#### 5524 Liz Ranch Road



**UNDER CONTRACT!**

**\$231,900**

JL Ranch

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6510 PRAIRIE HILLS



\$329,900  
4BR | 3BA | 2-car garage  
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1163 KAYCEE PLACE



\$290,000  
4BR | 3BA | 2-car garage  
www.64520.mistiewoods.com

1113 CRESCENT DRIVE



\$215,000  
4BR | 3BA | 2-car garage  
www.64466.mistiewoods.com

3821 RAINDANCER TRAIL



\$219,900  
3BR | 3BA | 2-car garage  
www.64459.mistiewoods.com

1775 SHADOW VALLEY ROAD



\$675,000  
5BR | 4BA | 6-car garage  
www.64437.mistiewoods.com

4 OLD TOWN LANE TOWNHOUSES



\$257,000  
3BR | 3BA | 2-car garage  
www.61535.mistiewoods.com

5520 ALEX RANCH ROAD



\$229,900  
3BR | 2BA | 2-car garage  
www.63400.mistiewoods.com

104 EAST 2ND AVENUE



\$249,900  
4BR | 2BA | 1-car garage  
www.64234.mistiewoods.com

4201 GEM TRAIL



\$187,000  
2BR | 2BA | 2-car garage  
www.64169.mistiewoods.com

6401 OSAGE AVENUE



\$354,000  
4BR | 3BA | 3-car garage  
www.64166.mistiewoods.com

551 WEST 3RD STREET



*Under Contract!*  
\$161,500  
3BR | 3BA | 2-car garage  
www.64128.mistiewoods.com

3020 CAPITOL AVENUE



\$202,000  
2BR | 1BA | 1-car garage  
www.64091.mistiewoods.com

104 13TH STREET WHEATLAND



\$87,800  
3BR | 2BA  
www.63070.mistiewoods.com

860 RANGER DRIVE



\$299,900  
3BR | 2BA | 2-car garage  
www.64339.mistiewoods.com

4702 LARAMIE STREET



\$185,000  
3BR | 2BA  
www.64230.mistiewoods.com

3609 EVERTON DRIVE



\$49,900  
3BR | 2BA  
www.62235.mistiewoods.com

JL RANCH



5518 LIZ RANCH \$239,900  
3BR | 2BA | 2-car garage  
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5524 LIZ RANCH \$231,900  
3BR | 2BA | 2-car garage  
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5421 HR RANCH \$228,900  
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2314 STEVE AVENUE



\$134,900  
3BR | 2BA | 1-car garage  
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9282 JORDANN



\$429,900  
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TBD APRICOT STREET  
\$239,800  
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SUMMIT VIEW



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3609 PURPLE SAGE \$336,000  
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3613 PURPLE SAGE \$362,000  
3BR | 2BA | 3-car garage  
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3617 CAMPFIRE TRAIL  
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TRACT 112 E. RIDING CLUB \$480,000  
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**NEW PRICE!**



### 5843 INDIGO DRIVE

Grab a piece of elegance in Dakota Crossing. This beautiful home has everything your looking for. From the

open floor plan to the spacious finished basement. Some features you will enjoy are Hardwood floors in the kitchen and dining area, tile baths and entries, walk-in closets, large wet bar, pre wired with surround sound, large pantry, Covered Deck, and central air to name a few. **\$389,900**



**NEW LISTING!**

**UNDER CONTRACT!**

### 321 McCOMB AVENUE

Remodeled home with pellet stove, hardwood & tile floors, newer windows, large fenced back yard with covered patio & shed. Great home for the price!

**\$127,500**



## PAT SIMENTAL

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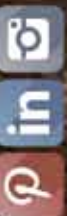
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THE BILTMORE  
4 BEDROOMS | 3 BATHS | 3-CAR GARAGE  
\$449,900

Considering buying a new home but worried yours won't sell?

Your worries are over! Homes By Guardian will buy your current home, so that you can buy this fabulous Biltmore home in The Estates at The Pointe. It's that easy! Call Robin or Jennifer for more information.



**1344 JESSI DRIVE**



THE MOSCATO  
4 BEDROOMS | 3 BATHS | 3-CAR GARAGE  
\$411,500

**1330 ALYSSA WAY**



THE SPRINGWOOD  
3 BEDROOMS | 2 BATHS | 2-CAR GARAGE  
\$370,500



**Robin FOREMAN**  
307.630.0170  
robin@cheyennehomes.com

**307.634.7900**  
www.HomesByGuardian.com

**Jennifer NELSON**  
307.421.4955  
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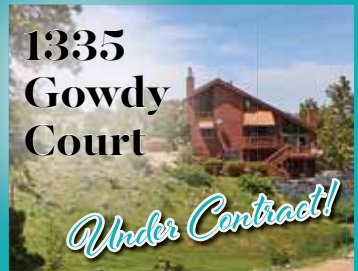
# 2625 Sweetwater Trail

The extraordinary beauty of this home can be found inside & out, upstairs & down. There are 4 bedrooms, 3 baths, 3 car garage, a lovely study & wonderful outside areas for relaxing including a new sunroom. There is a beautiful gourmet kitchen w/both formal & informal dining. The bsmt is designed for entertaining family & friends & includes a wet bar, family & rec rooms w/cozy stone fireplace. \$599,000



# 2768 Spruce Drive

Super nice home on a large lot just 1 block from an elementary school. Main level features a rec room, 2 BR, 1 updated BA, spacious living room, & dining area w/ hardwood floors. There are 2 additional BR in the basement (no egress), as well as another updated bath & laundry. Maintenance free exterior, newer vinyl windows, 2 utility sheds, & an oversized detached 2 car garage. Don't miss the large back yard great for entertaining. A Must see! \$255,000



# 1335 Gowdy Court

*Under Contract!*

Stunning mountain retreat, just perfect for the outdoor enthusiast! Three bedroom, three bath home with incredible views from every window. Three gas fireplaces, walkout basement with wet bar, loft master suite with private deck, private picnic area with fire pit and tons of walking trails on 5+ lushly treed acres. \$439,000



# Teryl Cates

REALTOR®

..... 307.631.6957  
terylcates@cheyennehomes.com



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ROCKING STAR RANCH



LAND RUSH!

\$0 DOWN  
0% INTEREST\*



maximum 20-year term with 5-year balloon  
valid for lot purchases only  
\* WITH APPROVED CREDIT



Natural landscape with character and beauty  
The perfect Wyoming skyline

Most home sites adjoin natural area/open space

Miles of undisturbed private riding and hiking trails, even cross country skiing or snowshoeing in your very own neighborhood

675 acres of natural open space owned by the HOA

Easy paved Horse Creek Road access

CLFP NATURAL GAS and Electricity

Millhouse Electronics High-Speed internet available

Beautiful Homesites starting at \$49,000

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- ★ 71 LOTS SOLD ★
- ★ Currently 5 HOMES UNDER CONSTRUCTION ★
- ★ 6 LOTS UNDER CONTRACT ★

WWW.ROCKINGSTARRANCH.COM



# 1425 Sunny Hill



## New Listing!

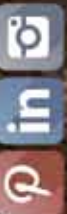
Stunning home in Sunrise Estates. Large open kitchen with granite, tile and space for entertaining. Beautiful hardwoods throughout the main floor. Absolutely gorgeous 23x13 master suite. Established well manicured yard, central A/C and much more. This turn-key home is truly amazing! \$325,000



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## 5710 Bourne Place

### Under Contract!

Nicely remodeled 4 bedroom 3 bath home with large open kitchen, vaulted ceilings, new hardwoods, big 5 piece master bath with jetted tub, amazing basement finish with walk in wine cellar, wet bar, hickory trim & doors and plenty of room for entertaining. Just 1 block west of Hobbs elementary. Beautiful Home!. \$315,000

## 518 Belvedere Court

### Under Contract!

Custom built Monterey Heights Bi-level! New paint, carpet, Updated kitchen with new cabinets, counters & stainless appliances. 3 BR & 2 BA on the main. Large open rooms, Nice south facing deck with a French door from the kitchen for great entertaining. Can't beat the condition, size & location for the price. \$229,500

### Tracts 3, 6 & 7 Richard Road.

Great building site for warehouse, light industrial, commercial, PUD. Directly behind Stallion Oil. Site plan, excavation, drainage, permitting competed. Ready to build. South Greeley and High Plains Road. The county has plans to connect the High Plains Road exit at I-25.

- Tract 3 - \$275,000
- Tract 6 - \$275,000
- Tract 7 - \$275,000

OR - all three lots may be purchased together for \$750,000!

# www.janetgage.com



# Janet Gage

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# THOMAS HEIGHTS

*a brand new north neighborhood  
overlooking the city of Cheyenne*



193 single family homesites in a wonderful Northeast location on Thomas Road, between Ridge Road and College Drive overlooking the city of Cheyenne

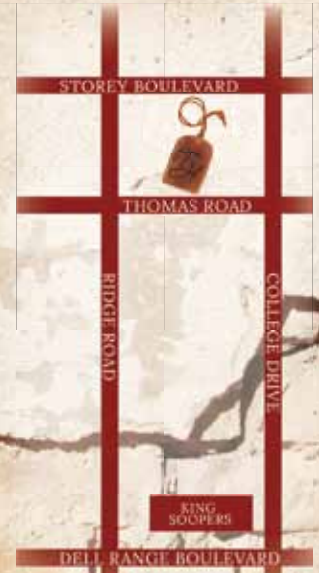
All the benefits of city utilities while retaining the feel of county living

Two community parks green areas with plenty of room for families to gather and kids to play

All home sites feature CenturyLink advanced fiber internet

Lot reservations for the first phase are now available

Tree-lined streets and sidewalks



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*homes by Consolidated Construction, Inc.*  
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**TOM HORN TRAIL - \$440,000**  
Another custom home by Consolidated. This one sold, but we have more...



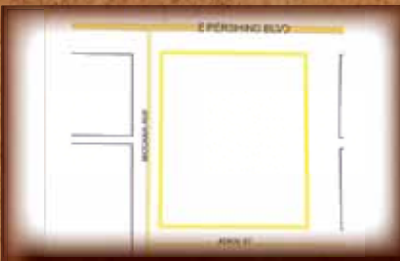
**1440 SCENIC RIDGE AT ROCKING STAR - \$437,000**  
Beautiful stucco/stone exterior, roof line patio, 3 BR/2 BA, 3-car garage, on approximately 5 acres. Custom Schroll cabinetry, Hunt granites, hardwoods throughout main, and door/trim package of knotty alder. New construction with fall completion.



**1550 SCENIC RIDGE AT ROCKING STAR**  
Wonderful semi-custom stucco/stone exterior, 3 BR, 2 BA, 3-car garage at beautiful Rocking Star Ranch. Custom Schroll cabinets, Hunt granites, hardwoods in main living with upgraded tile and carpet. Perfect stacked trim with matching wood doors. Another masterpiece!



**WHITNEY RANCH**  
580 Acres adjacent to water and sewer in premium location. Only parcel remaining north of city. \$11,606,800. For more information call June Casey at 307-631-2999 or Gary Moore at 307-630-7464.



**E. PERSHING BLVD.**  
Approximately 2.06 acres across from Jimmy John's. In the center of proposed new development and very well priced. Call June for utility and updated information!  
\$600,000.



**DRY CREEK BUSINESS PARK**  
Great opportunity to develop business park. Over 8 acres on College Drive with a preliminary plat ready for development. High profile with utilities either on or nearby. Super opportunity. Call June for further details!



**4001 FIRE WALKER TRAIL \$214,000**  
**4005 FIRE WALKER TRAIL (pictured) \$218,000**



**COMING SOON!**  
Just the cutest Avenues home, not quite ready for prime time! Watch for this one mid-July at approximately \$200K. Worth waiting to see on a lovely street



**ZONED LIGHT INDUSTRIAL**  
Very clean 1.03 acre lot close to the city off Dell Range. At Hinesley and Woodhouse Drive. County lot zoned light industrial. Perfect for shop! Great value! \$80,000.

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**909 LAREDO COURT**

This open 5 BR, 4 BA perfectly located unique ranch-style home secluded on the quiet cul-de-sac of Laredo Ct. This generously-sized, one-owner home has been impeccably maintained. Vaulted ceilings spanning the main level and rustic wood beams that contrast beautifully with the antique cross-cut mantel and gleaming oak planked and parquet floors and solid wood doors. **Offered at \$449,900**



**3558 ESSEX ROAD**

Spectacular brick rancher completely remodeled w/ gas fireplace, large living room & dining room leads to custom kitchen w/ island perfect for entertaining. **Offered at \$274,900**



**NEW LISTING!**

**1811 GETTYSBURG**

Completely updated home in Sunrise Estates! Interior features new carpet & tile throughout, new countertops, appliances, and a fabulous kitchen sure to impress. Fully finished walk-out basement includes a sunny office space, family room, and finished storage space..

**Offered at \$274,900**



**4408 ONTARIO**

This wonderful home offers three bedrooms, two baths and a 1-car garage. Maintenance free exterior. **Offered at \$185,000**



**4316 HURON**

Stunning Tri-level home in a great location with 3BR, 2BA, breathtaking yard and oversized patio.

**Offered at \$207,500**



**2482 PETERSEN DRIVE**

Nice 4 BR, 3 BA ranch w/ full finished basement. Huge lower level master bedroom suite w/ master bath & large family room.

**Offered at \$279,900**



**1527 SUMMERSET DRIVE**

Outstanding 2-story home w/ 4 BR, 4 BA & a 2 car garage. Walkout basement. Brand new flooring, new appliances, sprinkler system, & A/C. Large master w/master bath & walk-in closet. Basement has a great family room and 2nd master or guest suite. **Offered at \$269,900**



**1174 VERLAN WAY**

Brand new construction in The Preserve! Custom build by Taylor Made Homes. This floor plan offers the coveted hidden pantry in kitchen, granite countertops throughout, and hardwood floors.

**Offered at \$359,800**



**TAYLOR MADE HOMES**

*Taylor Made Homes is a local Cheyenne builder that provides quality construction resulting not only in a beautifully made house, but a place that you would be proud to call home!*



**Dave**  
**COLEMAN**  
(307) 214-6009  
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REALTOR®



**UNDER CONTRACT!**



**1377 MIRACLE PKWY | CHEYENNE, WY**  
**\$372,900**

**SOLD!**



**1430 HONEYSUCKLE LN | HILLSDALE, WY**  
**\$325,000**

**UNDER CONTRACT!**



**1125 CONCERTO LN | CHEYENNE, WY**  
**\$245,900**



**1656 STATE HWY 213 | BURNS, WY**  
Nice home on 37.88 fenced acres with 60x30 building, mature trees, a 600 tree row with drip and heated shed. 20x10 double office in the basement. **\$310,000**



**909 STOETZEL | PINE BLUFFS, WY**  
Huge 5 bedroom, 3 bath, 4-car attached oversized garage with 2-deep bays! Walk-in closets, separate dining, living room and family room, main floor master & laundry! **\$269,900**



**5513 DELL RANGE | CHEYENNE, WY**  
One-level ranch with 3 bedrooms, 2 baths, mature landscaping on 1.2 acres within city limits. Impressive heated insulated 4-car garage/workshop. **\$219,900**

**SOLD!**



**720 SIMKINS AVE | PINE BLUFFS, WY**  
**\$169,000**

**UNDER CONTRACT!**



**4776 GREYBULL AVE | CHEYENNE, WY**  
**\$145,000**

**UNDER CONTRACT!**



**316 MARKET ST | PINE BLUFFS, WY**  
**\$65,000**



**NATACHA GASPAR**

**307.640.6915**  
**NATACHA@CHEYENNEHOMES.COM**

 **Natacha Gaspar**  
**#1 Properties**

*"There is no greater compliment than the gift of a referral."*

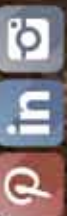
Natacha responded to my every phone call, email and text message with such promptness that I knew she was always working hard for us. She offered such great suggestions when all we knew was what type of home we wanted for our Dad. Every home she has shown us has been a great fit for my dad and we are absolutely certain she will have him in his dream home soon! I love how patient she has been with me, explaining the entire process to me in a way that I can understand and even feel comfortable and confident with! Natacha is truly a professional and the hardest working agent I've ever met or worked with!

- Lori

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307.634.2222 | 800.289.0998



6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD





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#1 PROPERTIES

6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD



# Providing Professionalism and Outstanding Service in Every Sale!

**626 Meadowlark Lane**



Beautiful... gourmet kitchen in this lovely 6BR, 3BA brick home! High-end stainless steel appliances, gorgeous kitchen cabinets, granite counters, hardwood floors, updated baths. Fresh painted thru-out, new carpet, new windows, new furnace, new Central Air, updated electric & plumbing. \$350,000

**521 Southwest Drive**

**Zoned Light Industrial and MU!**

Call for Details on this recently approved lot split with 20 acres LI annexed into the city borders I-80 and close to I-25. Plus 50 Plus Acres with an older Homestead house, and barn. Improvements "as is, where is." \$1,700,000

**TBD Southwest Drive**

**Zoned MU!**

Great Investment Opportunity near I-25 and I-80 interchange. 50+ acres. \$1,100,000

**0 Southwest Drive**

**Zoned Light Industrial!**

Great Location! Great Visibility! 20 acres in city. \$600,000

**4025 Foster Ave.**



5 BR, 3 BA, fully finished w/ large family room w/ wet bar, game room. \$339,900

**300 Hynds Ave.**



Well loved and maintained 2BR home w/ walk-out basement. Oversized corner lot. \$139,900

**301 Kay Ave.**



Lovely 3 BR home has been totally updated. New Kitchen & bath. Great yard. \$150,000



**Dee J. Williamson**  
ASSOCIATE BROKER

**307-631-9199**  
[DeeTWilliamson@msn.com](mailto:DeeTWilliamson@msn.com)

*The road to your new home begins here. Call today!*

**814 Cahill Drive**



*New Listing!*

Very clean and ready to move in!! This one level home has recently finished hardwood floors, large pantry, eat-in kitchen and vinyl siding. Shade trees make the backyard very comfortable!  
**\$159,900**

**2329 Council Bluff**



*New Price!*

Energy star rated, all brick ranch twin home. Completely maintenance free exterior and Trex decking. Home is 6 months old and still has remaining builders warranty. Complete window coverings make this better than new!  
**\$359,900**



**307-630-1099**  
[www.garrychadwick.com](http://www.garrychadwick.com)  
Buy or sell with me & use trailer for free!

**Buy or sell your home with me, and you will have the opportunity to use my courtesy trailer for your move free of charge!**



**Garry Chadwick**

**307-630-1099**  
[gchadwick@cheyennehomes.com](mailto:gchadwick@cheyennehomes.com)



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**#1 PROPERTIES**

6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD



### 7612 Michelle Joy Heights



Stunning Pointe home with wide-open floor plan and Chef's dream kitchen! Luxurious master suite, walkout basement, and bonus room. Sound system, AC, and more! **Offered at \$479,000**

### 7504 Max Court



This lovely Pointe home is perfect in every way! Open floor plan, gorgeous kitchen, stunning master suite. Located in a quiet cul-de-sac that backs to open space. **Offered at \$365,000**

### 724 Hirst Street



Western Hills home! Hardwood floors, fireplace, updated baths. Beautiful backyard with rock wall, deck and patio. Oversized 2-Car. New roof coming! Pick your color! **Offered at \$229,000**

### 6340 Main Street



Fabulous north townhome! Private fenced yard, lovely patio, gleaming hardwoods and almost new carpet. Finished basement, large rooms, tons of storage space, & a new furnace. **Offered at \$260,000**

**HOMES**  
BY GUARDIAN



### 3625 Harvey Street

The Edison Model  
3 Bed | 3 Bath | 3-Car Garage  
May 2016 Completion  
**Offered at \$363,500**



### 3624 Sowell Street

The Marshall Model  
4 Bed | 3 Bath | 3-Car Garage  
May 2016 Completion  
**Offered at \$389,900**



### 3618 Sowell Street

The Jefferson Model  
4 Bed | 3 Bath | 3-Car Garage  
May 2016 Completion  
**Offered at \$389,900**



#### THE WILLSHIRE

6534 Faith Dr  
**\$303,600**

- 2,022 SQ.FT
- End Unit
- Gas Fireplace
- Finished Garage Level

#### THE WILLSHIRE

6536 Faith Dr  
**\$276,600**

- 1,658 SQ.FT

#### THE BRENTWOOD

6538 Faith Dr  
**\$279,600**

- 1,653 SQ.FT

#### THE WILLSHIRE

6540 Faith Dr  
**\$276,600**

- 1,658 SQ.FT

#### THE BRENTWOOD

6542 Faith Dr  
**\$288,600**

- 1,653 SQ.FT
- End Unit
- Gas Fireplace



*Paige Lain* (307)  
**214-0827**  
paige@cheyennehomes.com




**2653 CHEVY ROAD**  
Outstanding ranch on acreage.  
5 BR/5 BA, vaulted ceilings,  
hardwood floors, walkout bsmt w/ wet bar & game area.  
Torrington HWY to Powderhouse Rd - S on Powderhouse to  
Chevy Rd \$625,000



**6619 RIVERBEND RD**  
Large, fully finished Ranch style  
home. Over 3300 square feet of  
living space. 5 BR, 3 BA, open floor plan, large master suite,  
fully landscaped with sprinkler system and a beautifully  
covered patio. Home purification system and alarm system  
to top it off! \$388,000



**3501 SOWELL ST.**  
The Cheyenne floorplan!  
Beautiful 2-story with lovely  
hardwoods, granite, and stunning gas fireplace. Four large  
BR conveniently located on the 2nd floor. Call me today!  
\$386,300





**1446 JONAH DRIVE**  
Incredible Malbec  
floor plan just a year  
old. 6 bedrooms,  
4 baths & every upgrade imaginable. Sold surface  
countertops throughout, walkout basement, wet bar,  
too many upgrades to list! \$599,900



**1506 CORRAL PLACE**  
Outstanding  
Tri-level  
home at a  
great price.  
Vinyl siding, large utility shed, covered  
patio, central air and a sprinkler system  
all on a large lot. 3 bedrooms, 2 baths -  
Ready for you to move into! \$192,000



**621 SPRING BEAUTY**  
Home-Home  
on the Range!  
39 acres of  
sheer bliss!  
Over 400 established trees on the  
property. 36x50 outbuilding that is  
heated & cooled! 3 bedrooms, 3 baths,  
and generator is included in the sale.  
\$330,000



**10 CRYSTAL LAKE**  
Own a piece  
of Wyoming  
Serenity. 5  
very private  
acres with a  
stream that  
runs through it. 40 acres of BLM land  
just to the North of this property. The  
house has 3 bedrooms and 1 bath,  
hardwood floors, and peace and quiet!  
\$200,000

**1121 OLD TOWN LANE**  
Land, building and all fixtures can be included in sale.  
Turnkey operation! \$1,750,000

**1600 ALLISON ROAD**  
Steel building, office, warehouse for lease on 1.07 acres.  
Air conditioning and kitchen area. Lease price : \$6,000

**TBD S. INDUSTRIAL ROAD**  
Heavy Industrial Land w/ interstate access. \$1,500,000

**416 CENTRAL AVENUE**  
Commercial property with high visibility. \$119,000

**Joe Svec**  
307.640.9865  
joesvec@cheyennehomes.com



# Happy Birthday, America!

*Eloquent!*



**922 West Dale Blvd. \$470,000**  
Entertain, work, play, rest and relax in the comfortable yet  
elegant spaces throughout this home. Come on in, look no  
further!




**Desiree Hannabach**  
307-287-1175  
desiree@cheyennehomes.com

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#1 PROPERTIES

6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD





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6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD



**3818 Van Buren Avenue**  
**\$183,900**

**NEW LISTING!**

- Cozy 3BR, 1BA, 2-car garage home in great East location.
- Classic farmhouse style home
- Beautifully landscaped & fenced yard with sprinklers, patio areas!

**2002 S. 3rd Avenue**  
**\$225,000**

**NEW LISTING!**

- Desirable Orchard Valley rancher, wonderful finishes throughout.
- Hardwood floors, 2 master suites
- Stunning landscaping & garden space! Detached garage w/ office

**339 Dalcour Drive**  
**\$235,000**

**NEW LISTING!**

- Fabulously updated 4BR/2BA bi-level home near Davis school
- New hickory kitchen, new baths, new carpet, flooring & roof.
- Large FR. Freshly painted exterior

**5611 Lawrence Lane**  
**\$229,900**

**NEW LISTING!**

- Amazing 3BR, 3BA 2 story townhome in North location.
- Open floor plan beautiful kitchen, stainless appliances.
- Spacious BR sizes, master suite

**5170 McCue Drive**  
**\$279,900**

**UNDER CONTRACT!**  
**NEW LISTING!**

- Spacious 4BR, 3BA, 2-car garage home with amazing landscaping.
- Gorgeous updated kitchen
- Formal LR/DR, lower level FR w/ fireplace. Sprinkler system, A/C.

**817 Mylar Park Drive**  
**\$299,900**

**NEW LISTING!**

- Wonderful Mylar Park townhome has 4BR, 3BA, 2-car garage.
- Formal LR, DR separate kitchen with nook. Master w/ en suite BA.
- Finished bsmt w/ FR, ofc. & more

**5714 Lakota Lane**  
**\$269,900**

**NEW LISTING!**

- Wonderful 4BR, 3BA townhome in great North location
- Main floor living + finished bsmt
- Covered patio, deck, sprinkler system, central air. Very nice!

**2508 Windmill Road**  
**\$194,900**

**NEW LISTING!**

- Great 4BR, 2BA, 1-car garage. Brick & steel exterior, newer roof.
- Hardwood floors, newer windows.
- Downstairs is a nice FR, a BR office/flex area and a bath.

**1217 E. 22nd Street**  
**\$190,000**

**UNDER CONTRACT!**  
**NEW LISTING!**

- Great investment opportunity-brick duplex near Holliday Park.
- Two 2-BR, 1-BA units w/excellent rental history. Solid cash flow.
- Many updates in the units.

**7100 Hawthorne Drive**  
**\$310,000**

**UNDER CONTRACT!**  
**NEW LISTING!**

- Western Hills bi-level home has 4BR, 3BA, large 2-car garage.
- Lots of updates – cherry kitchen, baths, flooring, lighting.
- Spacious basement. Exceptional!

**3096 Big Prairie Blvd**  
**\$397,500**

**NEW LISTING!**

- Wonderful 3BR, 2BA, 3-car garage home in Diamond B Ranch Estates off Torrington Highway.
- Open floor plan, gorgeous kitchen.
- 35.96 Acres are fully fenced.

**6433 Big Sky Trail**  
**Mustang Ridge**  
**\$569,900**

**NEW LISTING!**

- Wonderful w/ 5,000+ finished SF.
- Beautiful gourmet kitchen, formal dining. Main level master suite.
- 3BR, 2BA upstairs. Finished bsmt w/ huge FR, BR, BA, storage.

**12230 Cloud Mesa**  
**\$515,000**

**SOLD!**

- Custom built 2-story home in Alpine Ranch subdivision
- 5BR, 3.5BA, 3-car garage
- Stunning finishes, finished bsmt. Gorgeous landscaping!

**5015 Sunny Hill Drive**  
**\$282,500**

**UNDER CONTRACT!**  
**NEW LISTING!**

- Fabulous Sunrise Estates 5BR, 3BA home on spacious corner lot
- Back fence, sprinklers, large patio.
- Large kitchen open into LR w/ gas FP. FR down, great for guests.

**1588 Barberry Ridge**  
**\$514,900**

**NEW PRICE!**

- Striking 4BR, 3.5BA, 3-car garage home on 9 acres West of town
- Incredible master suite w/ gas FP, en suite bath, huge closet
- Finished bsmt, 1740 sf shop

**3414 Yucca Road**  
**\$259,900**

**NEW LISTING!**

- Stylish Cole Addition home w/ private neighborhood pool.
- 5BR, 3BA, 2-car garage, hardwood floors, updated main baths.
- Finished bsmt w/ FR, 2BR, BA.

**1651 Road 214**  
**\$500,000**

**UNDER CONTRACT!**

- Exceptional 4BR, 3BA, 3-car garage home and large shop.
- On nearly 5 acres with landscaping.
- Upgrades throughout, formal DR, full bsmt w/ FR, rec area, wet bar.

**3816 Capitol Avenue**  
**\$278,000**

**NEW LISTING!**

- Wonderful 3BR, 2BA, 1-car garage home in upper Avenues location
- Large LR w/ brick FP, separate DR. Wood floors, updated bath.
- Cute kitchen, FR down + master

**3621 Warren Avenue**  
**\$239,000**

**NEW LISTING!**

- Classic Avenues home, 4BR, 2.5BA, 2-car garage, newer roof.
- Large main level LR, updated KT, corian counters, maple cabinetry.
- Updated windows, steel siding.

**5816 Kennedy Drive**  
**\$257,500**

**NEW LISTING!**

- Fabulous Sun Valley 4BR, 3BA, 2-car garage home on a large lot.
- Large kitchen separate DR, LR w/ gas FP, vaulted ceilings.
- Finished bsmt, FR, BR/BA.

**Scott and Lisa FOSTER**

**SCOTT 307-631-4289**  
scott@liveincheyenne.com  
**LISA 307-630-9000**  
lisa@liveincheyenne.com

**WWW.LIVEINCHEYENNE.COM**



# Justin Howell



"In Today's Real Estate Market, there's no substitute for **EXPERIENCE!**"

*"...turning Cheyenne REAL ESTATE into **SOLD** since 1976!!"*

631-8850

www.royhowell.com

**6242 MOUNTAINVIEW DR.**



**Tremendous Executive 2-Story!**

4,300 + sf. maintenance free stucco, soaring ceilings, rich hardwoods, granite center island kitchen, oak cabinetry, formal dining, huge master bedroom suite w/ gas fireplace, large walk-in master closet, 5 piece whirlpool master bath, finished basement, includes exercise room, 5th bedroom, 4th bath & family room w/ wet bar, nice deck w/ hot tub, fenced & sprinklered yard, SUV sized garage. By Appointment. **\$464,900**

**747 RIDGELAND STREET**



*New Listing!*

**Casually Elegant!**

Maintenance free brick ranch-style, newer Maple kitchen w/ Corian counter tops, breakfast bar, large pantry, formal dining, main floor laundry, 2 gas-log fireplaces, central A/C, wonderful sunroom, skylights, large master bedroom w/ full master bath & walk-in closet in partial basement, finished & carpeted 2 car garage, covered patio w/ built-in bbq grill. Park like back yard with Gazebo, RV parking, Circular Drive, corner lot Pride of ownership throughout! **\$335,000**



# Roy Howell

631-8880

**7204 RIDGE ROAD**



**Close-in Rural!**

Brick ranch style on 2.5 acres, maintenance free soffits & fascia, fresh paint, new carpeting, large main floor family room, convenient kitchen, breakfast bar, formal dining, master bath, finished basement includes, 4th bedroom, large rec-room, laundry room, & 3rd bath. over 4,100 sq ft total, Large out building with RV door! **\$350,000**

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**#1 PROPERTIES**

6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD



*New Price!*

**1505 Adams Avenue**

Like new in a wonderful, established neighborhood. New vinyl windows, beautiful hardwood floors, remodeled baths, newer roof, beautiful new stainless steel appliances, 3 year old furnace. Basement remodel. Quiet neighborhood. **Offered at \$214,500**



**Tract 70 Monarch**

This gently sloping lot will accommodate a walk-out basement, from which you will enjoy mountain views. **Offered at \$150,000**



**Dower Rd, Wheatland**

20 acre parcel suitable for twin homes, or multi family, business or a combination Beautiful green area with trees (approx 8 acres). **Offered at \$300,000**



**Vicki Million Hughes**

Associate Broker, CRS, GRI, CHMS

vicki@oneinamillion.us | www.oneinamillion.us

**307-630-1130**



# CARL & SANDEE WAMBOLDT

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Associate Broker, CRS, GRI  
OFFICE 773-8473  
HOME 778-2047  
CELL 630-8265  
santee@cheyennehomes.com



2690 Deming Boulevard - \$245,000

**New Listing!**

- Situated in a wonderful, established neighborhood
- 1817 s.f. Ranch w/basement-- partially finished
- Large, updated KT featuring Corian countertops
- Main Floor Family Room Addition w/Gaslog FP
- Hardwood Flooring, Wood-burning fireplace in Lower Level
- New Pella wood-framed windows -- thermopane!
- Newer Furnace, Central Air, Sprinkler System ...
- Covered Porch! Covered Patio! Large Back Yard!
- One-car Garage w/Opener



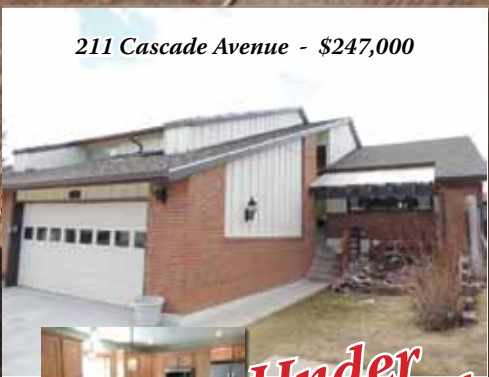
The Preserve at Humphrey Farms  
Lot 3, Verlan Way - \$333,500



### BUILD YOUR DREAM HOME WITH US!

- 1629 s.f. Ranch
- Split Bedroom Floor Plan
- 3 Bedrooms / 2 Baths
- 5-pc Master Bath
- Full Unfinished Basement with 9' Ceilings
- 2-Car Attached Garage
- Our lot ... or your lot! Our plan ... or your plan!
- Let's talk! We will build to suit your needs!
- Schedule a time to meet the Builder, Dori, LLC.

East Dell Range to Highway 30 then East, approximately 4.5 miles.



211 Cascade Avenue - \$247,000



**Under Contract!**

- Exceptional 4BR 2BA Twinhome!
- Dream KT designed for efficiency!
- Granite! Newer oak Cabinets!
- Pantry! Breakfast Bar!
- Stackstone Gaslog FP! Loft overlooking Family Room!
- Formal Living, Dining!
- Spacious Master BR & BA!
- Large Deck great for entertaining!



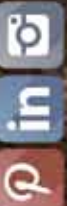
**SOLD!**

715 Ranger Drive  
\$275,000

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#1 PROPERTIES

6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD





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#1 PROPERTIES

6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD



### 24 INDIAN SPRINGS ROAD



Amazing mountain retreat between Laramie & Cheyenne! 35 acres w/ wildlife & breathtaking views. All brick 1.5 story, Brazilian cherry & maple floors w/ knotty alder doors & trim. Spacious kitchen w/ double ovens, granite & center island, vaulted great room. Main floor master w/ walk-thru closet & master bath w/ heated floors, jetted tub. 56 x 40 carriage house w/ 700 Sq. ft. 2nd story living quarters. A must see! \$764,900



**Matt MUNFORD**  
307-640-3756  
matt@cheyennehomes.com

### 634 RIDGELAND STREET



Fantastic home with great Western Hills location. 4 bedrooms, 2 baths, great family room and wet bar in basement. \$214,900

*Under Contract!*



**Rachel RENFRO**  
307-640-3754  
rachel@cheyennehomes.com

### TRACT 1 HORSE CREEK RD.

Nice 37 acres w/ no covenants! \$74,900

### TRACT 2 HORSE CREEK RD.

35 acres, close-in on Horse Creek \$74,900



*Mid-July Completion*



### 3551 Citation Road

Quality construction & charm! Fabulous new construction by Double T. Custom tile work, hardwood floors in kitchen & living rm, alder doors & granite in kitchen & baths. 5-piece master bath, 2x6 construction & a 96% high efficiency furnace. Front & back patio! \$369,000



**Matt MUNFORD**  
307-640-3756  
matt@cheyennehomes.com



**Rachel RENFRO**  
307-640-3754  
rachel@cheyennehomes.com

Photos from previous build



### 3557 Saratoga Street



Gorgeous ranch style home in Dakota Crossing, with custom finishes throughout! Air conditioned, totally finished basement, and move-in ready! 4 BR/3 BA/2-car garage. \$335,500



### 740 Golden Hill



*Under Contract!*

A timeless classic in Western Hills! 4 BR. Spacious kitchen, lovely finished basement. Gorgeous landscaping, an inviting front porch all in a great neighborhood, and close to schools! \$209,000

### 1818 Evans Avenue #212



*Under Contract!*

Carefree living at The Landmark! Totally remodeled kitchen w/ new appliances, master BR w/ walk-in closet, open great room, new carpet, paint, & updated bath. \$99,900



where **my** experience matters, because **your** experience matters

**GEORGE COSTOPOULOS**

george@cheyennehomes.com

(307) 630-2358 MOBILE

(307) 773-8469 DIRECT







**7528 FRANKIE DRIVE**  
 5 BR, 3 BA, 3 car, ranch style stucco & stone home in a quiet cul-de-sac. 2 fp, granite, hardwood, large master retreat, hot tub, sauna, and more!  
**\$460,000**

**COMMERCIAL!**



**1100 STOREY BLVD**  
 Prime Commercial Real Estate building in excellent condition. Building is in excellent condition and is 4,900 square feet.  
**\$579,000**

**NEW LISTING!**



GLEND0, WY

**HALL'S MARINA**  
 383 GLEND0 STATE PARK  
 The perfect business! Strong customer base with several revenue streams! Sale includes 4000+ sf residential home overseeing the entire operation. **\$1,600,000**

**NEW LISTING!**



GLEND0, WY

**43 CEDAR STREET, GLEND0**  
 Unique home on 0.72 acres w/ 360-degree views! 3 BR/2 BA, LR/FR, loft and enclosed sun porch.

Gorgeous lake & mountain views!  
**\$225,000**



**SANCHEZ CONSTRUCTION, LLC**

Interested in new construction? Call us today - we're excited to help you in your new construction journey from start to finish. Sanchez Construction offers beautiful finishes, including stunning hardwood floors, solid wood trim, tile floors in baths and laundry rooms, granite or marble countertops with tile backsplash, 5-piece master bath, raised-panel kitchen cabinets with CityScape design, and name-brand appliances.



**1543 SCENIC RIDGE**

Lovely new build by Sanchez Construction! 3 BR/3 BA/4-car garage, 8.41 acres. Beautiful mountain views, large deck for entertaining, & custom interior finishes! **\$420,000**



**1401 SCENIC RIDGE**

Fabulous 3 BR/2 BA new construction with walkout bsmt in Rocking Star Ranch. Fabulous split-BR floorplan, to-die-for kitchen with stainless appliance pkg & more! 7.94 acres, August completion **\$398,000**



**BUCK WILSON**



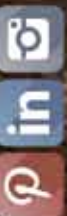
buck@cheyennehomes.com  
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6106 YELLOWSTONE RD  
 1660 DELL RANGE BLVD





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#1 PROPERTIES

6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD



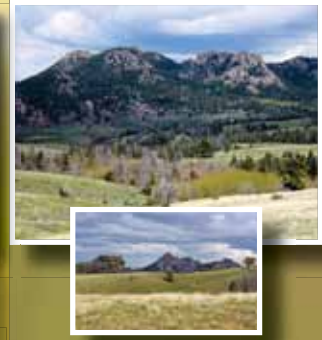
6910 S MILLIRON RD - Cheyenne, WY.

This sprawling rancher has all the living spaces you desire! The main floor features master bedroom and large bath with jetted tub, 2 more bedrooms, a living room, family room, and separate dining room. The spacious, bright eat-in kitchen has lovely views of the lilac row and large deck! The finished basement features a large red room, craft room, storage, bedroom, and full bath. Offered at \$390,000



11030 COONROD ROAD - Cheyenne, WY.

Exquisite home in North Star! Brick pillars and a tree lined asphalt driveway lead to your new home. Expansive hardwood floors, high end granite and stainless appliances. Spacious room sizes, custom theater room, wonderful office. Extensive landscaping all on an irrigation system, overlooked by the huge 45x20 Trex Deck with hard lined gas grill, for entertaining. Offered at \$675,000



54 STAGHORN ROAD

Spectacular lot in Vedauwoo Springs 1 mile east of Blair Wallace or 1 mile West of Vedauwoo Exit! Terrific views. 36.53 acres.

Buford, WY.

Offered at \$175,000



allison@cheyennehomes.com

Allison Murphy

(307) 640.9222



CHEYENNES HOMETOWN REALTOR

BOB SCOTT



307-421-4620

BOBSCOTT@CHEYENNEHOMES.COM



1008 NEW YORK ROAD

- Only 20 mins. from town! Master suite w/ 5 piece bath, large kitchen w/ island, 2 family rm. great shop and more. All on 5 acres!. \$259,900



7528 ROBIN DRIVE

- Exceptional Western Hills home, located on a quiet cul-de-sac. Granite counter tops, gorgeous hardwood floors, master suite w/ bath & walk in closet, kitchen with an island, separate dining area, privacy fenced, sprinkler system, 3 car garage & a bonus room that can be used as a family room or another bedroom. \$474,900



TRACT 23 LATIGO LOOP - Beautiful building lot located on Latigo Loop. Rolling terrain, good possibilities for walk-out basement. 14.32 acres. \$39,900



1322 E. 21ST STREET - Great Investment Opportunity! Centrally located, nice corner lot, garage, fenced backyard. Needs considerable work but priced extremely well for the Neighborhood! \$79,900



600 WEST 17TH STREET - Price includes 1706 O'Neil Avenue. Great commercial location in Downtown Cheyenne! 4 overhead doors, retail space, offices and warehouse! \$275,000

# NEW LISTING!



*Capture the romance and spirit of Wyoming...*

## 9424 Crystal Mountain - \$394,900

... in this gracious and beautiful ranch home. Abundant relaxation for your growing family a short ride from town in Fox Run Subdivision Nearly 2,900 s.f. of finished luxury to enjoy your solitude. This 4 bedroom, 3 bath ranch style with 3 car garage, plus RV power hook up, 16 X 12 Storage shed, large deck and front porch to enjoy those Wyoming sunrises and sunsets, central A/C, gourmet kitchen large family room. Septic sized for 4 bedrooms...

# NEW PRICE!



## Home on the Range 3942 Meadow Dove - \$434,500

Welcome home to this fully finished rancher with over 4,800 Sq. Ft. on 35 acres. This home offers huge gourmet kitchen, large main floor living room, super large family room down, vaulted ceiling's, 5 bedrooms, 4 bathrooms, central air, incredible deck for entertaining, 2 car attached garage and a 30 x 40 out building. Call for your personal showing today.

# FOR LEASE



## NEW LISTING!

4194 W. 5th Street - \$8/sf

Does your business need more space? This 9375 Sq FT. Warehouse with 1356 Sq. Ft of office space on 3.39 Acres of fenced and secure yard is ready for you now. Call for details and showings today.



## NOW AVAILABLE! Teton Business Park

This new business park will have over 85,000 Sq Ft of Leasable Space. Zoned light industrial but will accommodate Retail, office/warehouse 3 buildings with drop yards. Retail space or class A office space. A total of 7 buildings, Ranging from 1 X 4,900, 2 X 6,300, 3 X 12,000 sq ft and 1 X 31,500 Sq ft that can be demised down are available. Will build to suite.

Located on Westland Road, Happy Jack and Missile Drive. Taking Reservations now.

Call now for more information



2321 Old Happy Jack Road - \$1,395,000

This is your chance to own a building in the exclusive Teton Business Park. 12,000 Sq. ft. building with office space finished 4 over head doors, drive thru building to a fenced secure yard. Zoned light industrial. Call for more information.



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REALTOR® ASSOCIATE

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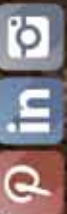
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6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD





### Cheyenne

3337 DUNN AVE, Updated kitchen & baths, new stainless steel appliances, lovely hardwoods, large sunroom, privacy fenced yard, garage and so much more!

**\$199,500**



### Cheyenne

4747 HILLTOP AVE, Large lot with mature trees and many improvements, include updated bath, new carpet in basement, newer water heater, new roof & downspouts. 4 BR/2 BA, 2-car detached.

**\$209,500**



### Wheatland

220 HIGHTOWER RD, Great Rural Property! 4 BR and 1 BA. Large Kitchen, separate dining, separate laundry & large living room.

Big shop, many outbldgs, corral, loading chute. All on 80 acres with WID. **\$475,000**



### Chugwater

151 SWAN AVE. Cute 3 BR/1 BA log home! Over 1200 SF of living space with many handicap features and an open floor plan. Very private, on huge lot with 2-car attached garage.

**\$140,000**



### Glendo

**New Price!**

518 N WARREN AVE, Nice 2BR/2 BA home with 1,434 sq. ft. of living space. Separate laundry area. Beautiful mature trees, 2 car attached garage on a 11,267 sq. ft. lot. Close to Glendo Lake. New roof! Priced to sell!

**\$122,000**



### Wheatland

452 E. OAK ST, Private and secluded home on 1 acre. 5 BR/3 BA, 2-car attached and 3-car detached garages. Large rooms, lots of storage. Close to town and priced to sell!

**\$248,000**



### Wheatland

149 RESERVOIR RD, 38-acre parcel with WID rights & adjudicated water rights f rom Rock Creek. Beautiful mature trees, 4 BR/3 BA on full bsmt. Many outbldgs, 4-car garage & so much more!

**\$495,000**



### Wheatland

179 N WHEATLAND HWY, 74.58-acre ranch just minutes from Wheatland! 5 BR/3 BA home, sunroom, fenced yard, sprinkler system. Over 400 trees, 2 wells. Tack room, stalls, chicken coop and more!

**\$650,000**



### Wheatland

457 S. WHEATLAND HWY, Outstanding, home with 5 BR/5 BA, oversized 4 car garage. With 2 master suites, Gill windows, sun room, living room, den, large DR, FP, and the list goes on! A pond, fountain and a water fall... all of this on 4 acres with over 600 trees.

**\$475,000**



*Phyllis Gapter*

www.PhyllisSellsPlatteCounty.com

307-331-0589

phyllis@cheyennehomes.com

### 1329 Miracle Parkway



Beautifully maintained ranch-style home with 5 bedrooms, full finished basement, hardwood flooring, tile, granite kitchen, large family room with wet-bar, fully landscaped with sprinkler system. Located adjacent to walking paths!

**\$399,000**

### Charles Street



1.45 acres zoned Commercial Business. 1.45 acres. Ridge Road, east on Charles Street.

**\$219,000**

### Lot 12 Riata Loop



Beautiful Country Views! Carter Brothers built home w/ granite kitchen & rustic Birch cabinetry. 3 BR, 2.5 BA, large 3-car garage. 5-piece master w/ whirlpool tub. Energy efficient w/ 2x6 construction, foam insulation, Stucco, Low E glass vinyl windows. Situated on a corner 8.33 acre lot. Completion mid-July!

**\$358,900**

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#1 PROPERTIES

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1660 DELL RANGE BLVD



630.7900 ASSOCIATE BROKER

**Lynda Strabmann**

lynda@cheyennehomes.com





307.421.3064

angie@cheyennehomes.com



### 3618 SOWELL STREET

Fabulous ranch style home in Thomas Heights! The Jefferson plan is open, with a vaulted ceiling and beautiful finishes - alder cabinets, wood floors, granite, and tile. The kitchen has an angled island with an eating bar. The master bath is especially bright and open. The basement is finished with a big family room, bed and bath. So much quality and style! Fence, AC and front yard landscaping included! **Offered at \$389,900**



### 6534 FAITH DRIVE

The brand new Terraces at the Pointe! These townhomes offer the style of urban living with the convenience of the Pointe's location. This home has a finished garage entry level with a bedroom and bath. Contemporary finishes with Quartz countertops, Central AC, Stainless Appliances. Perfect for anyone looking for low maintenance living or even investors! **Offered at \$303,600**



**3701 HARVEY STREET**  
The Jefferson Model  
3 Bed | 2 Bath | 3-Car Garage  
**Offered at \$352,308**



**3624 SOWELL STREET**  
The Marshall Model  
4 Bed | 3 Bath | 3-Car Garage  
**Offered at \$384,805**



**3625 HARVEY STREET**  
The Edison Model  
3 Bed | 3 Bath | 3-Car Garage  
**Offered at \$363,500**



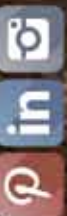
**3619 HARVEY STREET**  
The Kinkade Model  
3 Bed | 2 Bath | 3-Car Garage  
**Offered at \$340,102**



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## 2485 Painted Horse Trail

Stunning custom home by Walden construction has formal living & dining rooms that flow into the great room & well appointed kitchen. Home features 5 BR & 4 BA. Wonderful family room w/ wet bar. Large deck is private & perfect to enjoy the gardens & water feature. 4 car garage. This lovely Mustang Ridge home has all of the features you would expect. \$559,000  
**CALL CYNTHIA - 221-3334**



## 709

### Rodeo Avenue

Lovely ranch style in desirable western hills. This home features 3 main floor bedrooms with large updated kitchen, And spacious family room with fireplace. The walkout basement has 2 bedrooms and wonderful family room with bar. Beautiful lawn, exceptionally maintained home. \$387,500  
**CALL CYNTHIA - 221-3334**



## 5000

### Rock Springs

Wonderful investment in wonderful location. 3 attached 2 story town homes. Individual legal descriptions but sold together. Each town home has 3 bedrooms 2.5 baths and 2 car garage, central air and unfinished basement for storage. \$204,000  
**CALL CYNTHIA - 221-3334**



## 1111 East 6th Street

Two cute homes on one lot. The front home is 950 sq ft with new carpet, paint, furnace and roof. The back home has newer flooring and hot water heater. Nice condition in both. Great cash flow, excellent return. Each home is separately metered. \$124,900.



## 1229 Madison Ave.

This beautifully decorated town home features newer windows and flooring. The kitchen has been remodeled with new cabinets, Quartz counters and stainless steel appliances. Baths have been updated too. Family room down. \$167,500



## 218 B Country West

"Best deal in town" 3 bedrooms, 2 baths, 1 car garage. Choose new carpet and the seller will also pay your closing costs.. \$89,900  
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# Cynthia Biggs

307.221.3334 | cyn.hiabiggs@cheyennehomes.com

www.cynthiabiggsrealestate.com



New Homes Available Now!

### WILDERNESS SERIES

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JEI BUILDER INCENTIVES!

A home is more than just a building. Your home is a place where you raise your family, entertain your friends, and find solace from the outside world and elements. Your home is a long-term investment.

JEI understands that your home is so much more than just a house, and we strive to incorporate that understanding into each home that we build. We also understand that your home is an investment and should be a good value at the time of purchase. JEI offers a one-year warranty and stands behind your investment.

You will find that every home built by JEI incorporates these ideals. Our staff strives to be attentive to your needs, and will work with you from the time you walk through our doors to the time you walk through yours, and beyond. We plan to exceed your expectations.



Open, bright, & spacious new floor plan from JEI. Master suite features large shower & double vanity, walk-in closet. 2 additional bdrms.

Open 12-3 Daily



Many Plans To Choose From!

Twin homes starting at \$204,500

Sean Biggs

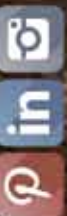
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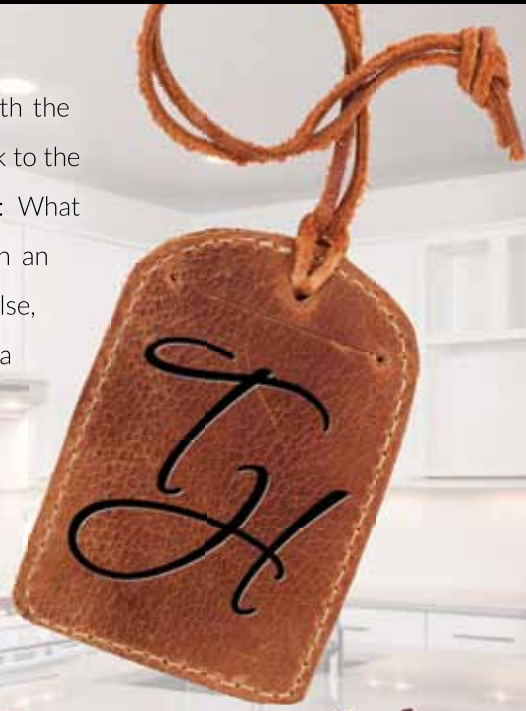
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Garth Buresh, owner of GB Builders, builds only with the highest level of integrity, bringing a refreshing outlook to the building process. GB Builders' consistent focus is this: What is the best home we can build for our clients? With an emphasis on quality and craftsmanship above all else, Garth prides himself on building a better home at a better price. It's evident the moment you walk into a GB Builders home: you've walked into something special.

Currently building in Thomas Heights, Saddle Ridge, North Star Ranch, Sundance Ridge, Rocking Star Ranch, HR Ranch, The Preserve at Humphrey Farms, and Blue Ribbon Estates.



THOMAS HEIGHTS



Come see us in Thomas Heights!

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AT 3718 HARVEY STREET**

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**1107 Skyline Drive**

*three bedrooms, three baths  
three-car garage  
incredible custom finishes  
Sundance Ridge LLC  
offered at \$589,900*

**3400 Harvey Street**

*four bedrooms, three baths  
three-car garage  
open floor-plan  
Thomas Heights  
offered at \$399,900*

**3406 Harvey Street**

*three bedrooms, two baths  
three-car garage  
Thomas Heights  
offered at \$369,900*



[www.GBBuildersCheyenne.com](http://www.GBBuildersCheyenne.com)

*Denise*  
**MOODY**

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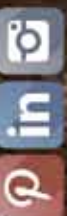
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**Marilyn THOMAS**  
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*I ♥ referrals!*

**1407 GREEN MOUNTAIN.** Impressive Story 1/2 home. Close in North. Chef's delight kitchen w/ new granite counter tops, hardwood floors & dining area lined with bay window. Door out to huge deck to enjoy the great views. Wonderful large main floor master suite with newly remodeled master bathroom & walk-in closets. There are 4 spacious bedrooms & a loft on upper level. Great walk-out basement w/family w/ custom wood work, wet bar, exercise room & huge walk-in closet. Newly remodeled 4th bathroom. Fenced yard w/ sprinkler system. 3 car garage. \$575,900



**1706 SHADOW VALLEY TRAIL.** Beautiful custom built ranch style home. Panoramic view of Table Mountain. 40 acres. Great room w/ vaulted ceilings, deck off dining area & country kitchen. 3 BR on main level & 2 more in basement. Master suite w/ walk-in closet, master bath & private deck. Finished walk-out basement w/ family, 2 spacious BR, full bath & game room w/ door out to 2nd patio. Main floor laundry room. Additional 40 available. \$399,900.00. #60782



**915 CAREY AVENUE.** Ranch style - All one level living. Vinyl maintenance free exterior. Newer built home (1981) in a historic neighborhood. Energy efficient home with 2 x 6 construction. There are 2 spacious bedrooms, eat-in kitchen with tile floors & a pantry. Mud room off carport/patio. New 6' fence. Cute-affordable home! \$129,900 #62650



**5008 8TH STREET.** Ranch-style home in Sun Valley. This home has hardwood floors, main floor family room with wood stove, formal dining area & kitchen with new counter tops. 3 bedrooms on main level. Finished basement with 4th bedroom (no egress window), 1/2 bath & family room. Mature landscaping. \$174,900.00



**1479 ROAD 109.** Beautiful custom built home on 38.97 Acres. Breathtaking views of Table Mountain. Gourmet kitchen with walk-in pantry, granite counter tops and eating bar, formal dining area lined with windows. Great room with Blaze King wood stove and vaulted ceilings. Two master suites. Main master bedroom with His and Her walk-in closets, jetted tub and a steam shower. 2nd master has a full bath. Dog lovers dream. 6 acres fenced for you best pals. Also a dog grooming/bathing area, auto doggie door. 3 car oversized garage. \$442,900.00. #63827



**210 WEST 1ST AVENUE.** Elegant Avenues home. All brick ranch-style home w/ remodeled kitchen with built-in desk. Formal dining & cozy living room w/ gas-log fireplace. 3 BR on main level & remodeled bath. Delightful sunroom & 2 stamped-concrete patios. Finished basement with large 4th BR w/ egress window. Single car garage. Sprinkler system. Beautifully landscaped. Covered front porch. Central A/C. \$299,900.00 #64487



**4583 TEAL LANE.** Thunder Basin. 9.20 acres fenced. Well & septic. Barn plus 2 sheds. 1972 mobile home that has a great room addition with a wood burning stove. Light covenants. \$75,900.00 #644062



**1510 KOPSA COURT** Beautifully remodeled. Everything is new in this home. New kitchen cabinets & counter tops, new flooring, carpeting, remodeled bathrooms, updated electrical & plumbing. 4 BR, master bathroom has a 1/2 master bath, formal dining w/ build-in hutch. Enclosed patio /breezeway between house & huge 4 car garage. Manufactured home. Not on permanent foundation. \$129,900.00



**331 MADDIES WAY.** Lovely 2-story Twinhome. Kitchen w/ large pantry & oak cabinets. Formal dining w/ new laminate flooring patio door out to fenced back yard. There are 3 BR on the upper level. Large master w/ a master bath & walk-in closet. Central air conditioning. Laundry on upper level. 2 car attached garage. Sprinkler system. These units would make great rentals properties. \$166,900.00 #64108



**3117 JACKSON STREET.** Lovely all brick ranch-style home in Buffalo Ridge. Spacious great room, remodeled kitchen with oak cabinets, hardwood floors & dining area with built-in hutch with glass doors. 2 bedrooms on main level. Finished basement with family room, 3rd bedroom, (no egress windows), & office that could be a 4th bedroom. Covered patio & large back yard with alley access. Sprinkler system in front yard. \$179,900.00 #64243



**1110 SOUTH GREELEY HWY. MAKE OFFER!** High traffic 4976 sq ft commercial building zoned CB on 0.77 acres on South Greeley Highway. Seller may look at tearing down from building a 3 bedroom home located on back of lot with 1696 sq ft. Needs a little remodeling. South Greeley Frontage. \$199,900



**343 ARP AVENUE.** This home shines. Completely remodeled. New bathroom, kitchen w/ new lino, refinished hardwood floors, new windows, new interior base board trim & freshly painted. New patio & sidewalk to garage. Don't miss this cute home. Everything is done - just move in. \$127,900.00 #64435



**327 MADDIES WAY.** Very well maintained 2-story Twinhome. Maintenance free exterior w/ vinyl siding. Formal dining room w/ patio door out to patio & fenced yard. Kitchen w/ oak cabinets & a large pantry. Upper level has 3 bedrooms. Master suite w/ a full master bathroom & walk-in closet. Central air conditioning. Sprinkler system. Looking for income property? \$166,900.00 #64109



**LAND COURT.** Great building lot to build a home. Manufactures and modular are allowed. Building site just west of Ridge Road on Land Ct. This property has been annexed into the City. City water and sewer is available. \$36,000 #63747

**A RARE FIND!**  
**CITY OF CHEYENNE FULL LIQUOR LICENSE.**  
There are only a limited number of these licenses issued in the City of Cheyenne. City approval of purchase is required for transfer of license.



**NIGHT CLUB IN THE HEART OF HISTORIC DOWNTOWN CHEYENNE. FOR SALE OR LEASE.** Fully equipped bar/restaurant. Large oak dance floor, 2 tiered band stand including lights. Formerly the Cheyenne Club. Turn key operation. City of Cheyenne Liquor license also available for purchase. 8500 sq. building on main level & 3000 sq. ft. basement. 16 parking spaces included in sale. Flexible terms & conditions. Call for more details. **Marielyn Thomasee 634-1188**



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*This stunning custom home offers expansive rooms & views in lovely Fox Run! Incredible quality throughout it's 6,680 SF! Great for entertaining with wonderful open floor plan. Impressive kitchen with separate dining room. Main floor has 15 foot ceilings. Home has library and craft room, and workout room in addition to the 3 BR/4 BA. Master suite has a steam shower & heated floors! Office, 5th bath & laundry in heated 3200 SF outbldg. Covered porch with gas log fireplace & gas & water for future kitchen.\$925,000*



# 6511 Monarch Drive



3712 RUSTIC ROAD. Incredible Energy Star rated new construction in Saddle Ridge. Custom, fine quality finishes throughout! Enjoy this large, fully fenced backyard complete with a covered patio, sprinkler system and sod. Open floor plan with split bedroom design and an oversized 23' x 24' 3-car garage and 30% finish in the basement! With our constantly low "HERS" ratings, we can save you \$1,300 to \$1,500 per year on your utilities costs! (Depending on floor plan!) \$372,762



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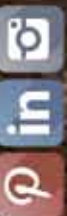
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**2318 COUNCIL BLUFF.** Fantastic ENERGY STAR RATED home by Frauendienst Quality Homes. EXCELLENT quality! Ranch style home on a slab with brick & steel siding exterior. Fully landscaped front and back with sprinkler system and vinyl fence. Schroll kitchen with granite counter-tops. Master bath with upgraded tiles and counter-tops. In floor heat with gas forced heat and air conditioning. Stainless steel appliance package and gas fireplace! Offered at \$349,900



PHOTOS ARE OF A PREVIOUS SIMILAR BUILD.



**2324 COUNCIL BLUFF.** Fully completed and gorgeous! Fantastic ENERGY STAR RATED twin home by Frauendienst Quality Homes. EXCELLENT quality! Ranch style on a slab with brick & steel siding exterior. Fully landscaped front and back with sprinkler system and vinyl fence. Schroll kitchen with granite counter-tops. Master bath with upgraded finishes. In floor heat with gas forced heat and air conditioning. Stainless steel appliance package and gas fireplace! Offered at \$350,000



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Larry SUTHERLAND

www.TheBluffsCheyenne.com



Situated in a fantastic location – close to schools, shopping, and all the conveniences – the Signature Series at Council Bluff is Cheyenne’s most exciting new development. Featuring three dynamic single-family plans (each with a two-car attached garage plus a two-car studio garage!) and two terrific twinhome plans, there’s something for everyone here!



You’ll find our characteristic Frauendienst quality in each home we build, from the extraordinary kitchens to the super functional “drop zones” that add storage and organization where you need it most. The eye-catching brick exteriors are essentially maintenance-free, and also fully landscaped. Attention to detail will be evident in every aspect of these homes, and all will bear the trusted ENERGY STAR certification.



With lots of fun and modern finishes, you’ll love everything about these new homes in The Bluffs... especially the available CenturyLink fiber optics for screaming-fast streaming – the first of its kind in a Cheyenne residential neighborhood!

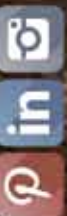
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## 832 SPRING BEAUTY TRAIL

Rural Residential  
Cheyenne, WY

Looking for room to roam? Situated on 35 acres just a few hundred yards off of Campstool Road this three bedroom, two bath home offers a farm house feel with an open floor plan. You'll love the covered porches, the stunning kitchen and the fabulous family room in the walk out basement. The main floor boasts vaulted ceilings, a beautiful fireplace and large windows which allow you to capture gorgeous views and tons of natural light. The covered deck is conveniently located right off the kitchen and is the perfect spot for a cup of coffee on those sunny summer mornings ... or to host an evening barbecue with friends & family. The master bedroom is lovely and boasts a five piece master bath and a designer style walk in closet. Unfinished space in the basement provides extra room for you to finish to your liking. This property is fully fenced and ready for you, your family, your pets and livestock! **\$435,000**



# FOUR FABULOUS HOMES IN MEADOWLARK RIDGE ESTATES

JUST MINUTES WEST OF I-25 ON HORSE CREEK ROAD

## 1881 LAUVER LANE

Rural Residential - Cheyenne, WY



\$430,000

You'll fall in love at first sight with the board & batten siding on this three bedroom, two bathroom farmhouse. Walk in the front door and you really will be hooked...vaulted ceilings, gorgeous tile, popular painted cabinets and expansive windows throughout the house are just a few of the fabulous features this home boasts. This isn't just your grandparents' farmhouse though - this home is pre-wired for Smart Home Technology. We can't wait to show off all the tech savvy upgrades this home features.

## 1873 LAUVER LANE

Rural Residential - Cheyenne, WY



\$420,000

If you're looking for a beautiful new home we have the perfect one for you to consider. This lovely 3 bedroom, 2 bath home is located just 15 minutes from downtown Cheyenne in the desirable Meadowlark Ridge Estates & is set on approx 5 acres among rolling hills with mountain views. We know you'll love the open floor plan, covered porches & three car garage & we think you'll like our color selection. However, we know that if you arrive in time you'll absolutely love your own choices. Estimated completion date October 2016. Call today!

## LOT 27 LAUVER LANE

Rural Residential - Cheyenne, WY



PROPOSED CONSTRUCTION

\$445,000

3 Bedroom | 3 Bathroom | 3-Car Garage

## LOT 28 LAUVER LANE

Rural Residential - Cheyenne, WY



PROPOSED CONSTRUCTION

\$485,000

5 Bedroom | 4 Bathroom | 3-Car Garage



**AMY SMITH**

amy@cheyennehomes.com

(307) 214-5583 [www.smithbarrett.com](http://www.smithbarrett.com)



**DANE BARRETT**

dane@cheyennehomes.com

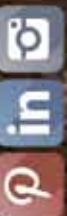
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6106 YELLOWSTONE RD  
1660 DELL RANGE BLVD





**NEW PRICE!**

# SMITH BARRETT TEAM

**6028 ROAD 206** Located just 35 minutes from Cheyenne, this beautiful home will please the most discerning buyer. The open floor plan, vaulted ceilings, and gleaming hardwood floors welcome you to this fabulous five-bedroom, five-bath home. Main floor features great room with fireplace and designer paint color. Master bedroom features five-piece master bath and walk-in closet. Finished bonus room, finished basement with fabulous media room, three-car attached garage and 60x50 heated outbuilding. **\$549,900**



## NORTH PLATTE RIVER VALLEY RANCH

Farm & Ranch - Fort Laramie, WY



Located 5 miles west of the historic settlement of Fort Laramie, twenty miles east of Interstate 25. Consisting of 7254 deeded acres together with 1160 BLM and state leased acres with a mile and half frontage on the North Platte River. Modest improvements are located at the south end near the river which includes 140 acres irrigated putting up 6 tons to the acre from a 975 GPM well and Interstate Canal System. Owner operated - 350 cow/calf pairs or 600 yearlings. **\$5,200,000**

## DWYER RANCH

Farm & Ranch - Wheatland, WY



Located five miles east of Interstate 25 on the south side of US Highway 26, just east of county Rd 320. 6,421 deeded acres together with 680 BLM leased acres. Includes an older home with a 25 GPM well & set of corrals. There are two center pivots which irrigate 320 acres from two wells that produce 825 to 850 GPM, along with three stock water wells. The ranch has been owner operated running 300 cow/calf pair or 500 yearlings. **\$3,300,000**

## 407 MAIN STREET

Residential - Pine Bluffs, WY



Fabulous 5 BR/3 BA home renovated from top to bottom featuring hardwood floors, solid surface counter-tops & upgraded kitchen/bathroom cabinets. Upstairs bedrooms feature large walk-in closets. Huge master bedroom features master bath & 10x11 walk-in closet. Gorgeous yard features sprinkler system, back patio and firepit area surrounded by new tress. Home is completed by a lovely covered front porch, new 50 year Malarkey roof & detached four car heated garage. One year buyer warranty. Fresh paint, interior and exterior! **\$300,000**



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**AMY SMITH**

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**DANE BARRETT**

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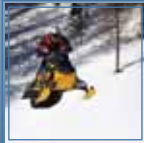
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*Fox Creek Ranch*

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Log Homes starting at \$299,900



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owner financing available



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- New Concept with Insulated Concrete Forms
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www.wendyvolk.com



J. Fred Volk

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jfredvolk@cheyennehomes.com



Wendy Volk

307.630.5263  
wendyvolk@cheyennehomes.com



John Volk

307.771.8359  
john.volk@wmb.com

### 219 WEST 7TH AVENUE



Located in the heart of the Avenues! Four bedrooms, three baths, three fireplaces. Gourmet kitchen with sunny breakfast nook, great room, and formal dining room. Enchanting back yard with lush park-like setting. All the extra amenities!! \$499,900 [www.64474.WendyVolk.com](http://www.64474.WendyVolk.com)



### 3721 MCCOMB AVENUE



Classic contemporary in the Avenues in a park-like setting. Five bedrooms, three baths, finished basement, two-car attached garage. Large picture windows overlooking a lush back yard and outdoor swimming pool. Integrated air-conditioning units. \$399,900 [www.64530.WendyVolk.com](http://www.64530.WendyVolk.com)



### 215 WEST 4TH AVENUE



Enchanting Avenues home! Three bedrooms, two baths, oversized three-car attached garage. Gorgeous hardwood floors, stunning gourmet kitchen. Updated throughout. Charming covered back patio, mature landscaping. Main-level family room with wet bar and gas stove. Move-in ready! \$359,900 [www.63713.WendyVolk.com](http://www.63713.WendyVolk.com)



### 2819 THOMES AVENUE



Exquisite turn-of-the-century two-story! Five bedrooms, three baths, two-car garage, breathtaking woodwork, updated kitchen with modern touches, formal living and dining rooms, lush landscaping with water feature. \$399,900 [www.62368.WendyVolk.com](http://www.62368.WendyVolk.com)



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# 1810 EAGLE DRIVE



Breathtaking views can be enjoyed year-round in this spectacular close-in horse property just a few minutes north of the mall. Five bedrooms, four baths. Hardwood floors, gourmet kitchen with granite counter tops. Fully finished basement with family room and wet bar/full kitchen. New horse barn and separate detached heated outbuilding. \$539,900 [www.64612.WendyVolk.com](http://www.64612.WendyVolk.com)



# 715 CYPRESS LANE



Beautiful home in Indian Hills area. Brand-new hardwood, carpeting, and vinyl flooring. Open floor plan, covered deck. Four bedrooms, four baths. Gourmet kitchen with granite counter tops, stainless appliances, walk-in pantry. Central air. Oversized garden-level basement has family room with wet bar and three multi-purpose rooms. \$439,900 [www.64224.WendyVolk.com](http://www.64224.WendyVolk.com)



# 1529 ADAMS AVENUE



Spacious home with four bedrooms and two updated baths. Light, bright, open floor plan with a fully finished basement. Updated kitchen has center island along with new stainless appliances. Tasteful neutral decor throughout. Fully fenced back yard with oversized patio. Close to schools, shopping, Cheyenne Greenway, recreation, and minutes from downtown Cheyenne. \$214,900 [www.64436.WendyVolk.com](http://www.64436.WendyVolk.com)



# 5424 MEADOWBROOK DRIVE



Step into this magnificent ranch-style townhome to find an abundance of living space, sunshine, and vaulted ceilings. Located in northwestern Cheyenne area with three bedrooms, three baths. Neutral decor throughout. Central air-conditioning. Basement has large family room, cozy fireplace, guest bedrooms, guest bath, and storage galore. Back yard fully fenced with mature landscaping, front and back patios. \$249,900 [www.64409.WendyVolk.com](http://www.64409.WendyVolk.com)



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Wendy Volk

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John Volk

307.771.8359  
john.volk@wvma.com



# Leaning Tree HOMES



**MLS#63124**

**PARADE OF HOMES**

**3723 RIATA LOOP (LOT 17)**  
5.75 Acres in Riata Ranch Subdivision  
JADEN MODEL  
3 Bedrooms | 2 Baths | 3-Car Garage  
July 2016 Completion  
**\$398,000**

**MLS#63694**

**3762 RIATA LOOP (LOT 4)**  
5.00 Acres in Riata Ranch Subdivision  
ERIC MODEL  
3 Bedrooms | 2 Baths | 2-Car Garage  
September 2016 Completion  
**\$289,800**

**MLS#63364**

**UNDER CONTRACT**

**858 ARENA LANE (LOT 1)**  
6.81 Acres in Riata Ranch Subdivision  
KODY MODEL  
3 Bedrooms | 2 Baths | 2-Car Garage  
August 2016 Completion  
**\$315,000**

**MLS#63534**

**3976 SILVER OAK (LOT 1)**  
36.98 Acres in K2 Ranch Subdivision  
JOHN MODEL  
3 Bedrooms | 2 Baths | 2-Car Garage  
August 2016 Completion  
**\$338,000**

**MLS#63357**

**UNDER CONSTRUCTION PHOTO OF SIMILAR HOME**

**3753 RIATA LOOP (LOT 21)**  
5.17 Acres in Riata Ranch Subdivision  
ADDY MODEL  
Walk-out | 3 Bedrooms | 2 Baths | 2-Car Garage  
December 2016 Completion  
**\$319,000**

**MLS#61994**

**LOT 22 RIATA LOOP**  
5.60 Acres in Riata Ranch Subdivision  
JOHN MODEL  
3 Bedrooms | 2 Baths | 2-Car Garage  
June 2016 Completion  
**\$321,000**

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John Volk  
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**CAMPSTOOL BUSINESS PARK**

The Best Shovel-Ready Development on I-80



The best shovel-ready development on I-80. Over 200 acres within city limits, zoned Light Industrial (LI), Heavy Industrial (HI) and Commercial. Direct access to U.S. Interstate-80 at the Campstool Road Exit Interchange. All city utilities, with available high-speed fiber optic data transmission. Parcels range from one to 20 acres.  
[www.campstoolbusinesspark.com](http://www.campstoolbusinesspark.com)

### CROSSROADS CENTER



The Crossroads Center encompasses over 14 acres and is situated at the southeast edge of Cheyenne, just 1.3 miles from I-80. Zoned MUB (Mixed Use Business Emphasis) within the city limits. Call for details.

[www.41293.WendyVolk.com](http://www.41293.WendyVolk.com)

### 8610 TRUCKER TRAIL



FOR SALE OR LEASE

Brand new commercial/warehouse facility in Campstool Business Park, minutes east of downtown Cheyenne. Located at I-80/Campstool interchange by Lowes Distribution Center. 10,000+ sf building on 2+ acres zoned HI. Adjacent land available for expansion. City utilities - water, sewer, electric, gas in place - access to high speed data. \$1,300,000

[www.62512.WendyVolk.com](http://www.62512.WendyVolk.com)

### 8810 TRUCKER TRAIL



FOR SALE OR LEASE

Brand new commercial/warehouse facility in Campstool Business Park, minutes east of downtown Cheyenne. Located at I-80/Campstool interchange by Lowes Distribution Center. 10,000+ sf building on 2+ acres zoned HI. Adjacent land available for expansion. City utilities - water, sewer, electric, gas in place - access to high speed data. Two 16' and two 14' overhead doors. \$1,150,000 OR \$13/sf

[www.60760.WendyVolk.com](http://www.60760.WendyVolk.com)

### STOREY BOULEVARD



FOR SALE

Looking for a ready to build site for Multi-Family units and rental property?? Look no further. Newly platted subdivision with approved site plan. Plans approved for 3 four-plexes and possible 3 duplexes or 2 six-plexes. No site preparation or infrastructure has been completed. All plans will be transferred to new owner. \$145,000

[www.63090.WendyVolk.com](http://www.63090.WendyVolk.com)

### 1013 EAST LINCOLNWAY



FOR LEASE

Great office space on a high-visibility street. Four large offices (room for two cubicles each), reception and waiting room, huge conference room, rear storage room with overhead door. Landlord may modify to suit tenant needs. New handicap-accessible restroom.

[www.62182.WendyVolk.com](http://www.62182.WendyVolk.com)

### 613 EAST 25TH STREET



FOR LEASE

Centrally located metal warehouse facility for lease at the corner of Maxwell Avenue and East 25th Street; just blocks from downtown Cheyenne. Clear-span building with 3,650± sf and located on a 17,424± sf lot. Excellent for storage or maintenance. Complete city utilities in place. Annual lease rate of \$8.50/sf with a minimum three-year lease term. Call for details.

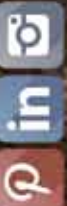
[www.62101.WendyVolk.com](http://www.62101.WendyVolk.com)



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# SADDLE RIDGE



Twelve years ago, two local developers acquired, annexed, and developed 138+ acres for growing our community. Since then, the brand-new Saddle Ridge Elementary School and Saddle Ridge City Park were developed, and the Cheyenne Greenway Trail System was extended into the neighborhood.

To date, 30+ different builders have built and showcased houses, and 830 families have purchased brand-new homes in Saddle Ridge, along with 150 who have re-sold their homes to new families. Only 40 lots remain available for purchase, so don't miss your opportunity to build your own dream here in Saddle Ridge!



www.wendyvolk.com



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John Volk

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john.volk@wmb.com



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#1 PROPERTIES

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DAN GREGG  
CONSTRUCTION

DANGREGGHOMES.COM

# Building Now!



**TBD POINT BLUFF.** Dan Gregg creates another masterpiece of perfection in this new home at The Bluffs. The stylish, quality custom finishes are found in the kitchen, living room, bedrooms, bathrooms, laundry room and even the garage. Beautiful cabinetry throughout, granite counters, hardwood floors, custom tile and stone, A/C, plus maintenance free exterior with brick and metal siding, fully landscaped including sprinkler system. All the top quality finishes the discerning Buyer desires and Dan Gregg requires.

**TBD FOOTHILLS DRIVE.** This 3BR, 2BA, 3-car garage home is another Dan Gregg work of art and awaits you in the desirable Bluffs subdivision near Anderson Elementary. High quality finishes are found throughout the home – custom tile, hickory hardwood flooring, granite counters, rustic beech cabinetry, spacious owners' suite with walk-in closet and large 5-piece en-suite bathroom. This delightful home is turnkey with a maintenance-free brick and ABC seamless steel exterior, fully landscaped w/ sprinklers and vinyl fencing, Malarkey roof, central air, tankless water heater and is Energy Star certified.



*Energy Star Certified custom homes by Dan Gregg are currently being constructed at The Bluffs subdivision near Anderson Elementary. This upscale neighborhood features maintenance free homes and fully landscaped and fenced yards. Come by and see the superior quality and craftsmanship of these impressive and stylish homes.*

Scott and Lisa  
FOSTER



SCOTT 307-631-4289  
scott@liveincheyenne.com  
LISA 307-630-9000  
lisa@liveincheyenne.com

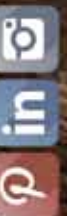
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# 6860 Squash Blossom Trail



Great design, top quality, amazing space! This home features six bedrooms and five baths. The separate garage has space for four cars! Inviting living areas, abundant closet space, and office. Stunning gourmet kitchen with Sub-Zero refrigerator and upscale appliances. The beautifully finished basement comes with a second fully equipped kitchen. This home also boasts fantastic metal privacy shades on west windows, room for a home gym, and extraordinary landscaping.

OFFERED AT \$699,000



**Kim Sutherland**  
kim@cheyennehomes.com  
307.630.1488

**Larry Sutherland**  
larry@cheyennehomes.com  
307.630.0528



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**EXCEPTIONAL HOME AT THE POINTE!**



**1218 WENDY LANE.** Exceptional One Owner Single Family Home with Full Unfinished Garden Level Basement! Deck and Great Views, fully landscaped with sprinkler system and vinyl back fence. Fireplace, master bath, absolute MINT condition! \$339,900.



**NEW LISTING!**

**910 COOLIDGE STREET.** Nice one level home with crawl space. New roof four years ago, single garage with opener, wood burning fireplace in the living room, wood deck 10 x 18, newer windows and patio door. 6 foot privacy fence in backyard and 10 x 12 storage shed. \$142,900.



*Under Contract!*

**2643 PAINTED HORSE TRAIL.** Truly remarkable estate on 1.9 acres in Mustang Ridge! Stunning

Amundson-built home with over 6,800 SF of living space. Fantastic mature trees & lush landscaping. \$995,000.



*Under Contract!*

**90 BLAIR WALLIS ROAD.** Simply perfection! 36 acres of pristine mountain enchantment! Energy

efficient home w/ superior construction. 4 BR/4 BA. 5-car garage plus cool outbldg w/ living space! \$798,000.



*Under Contract!*

**NEW LISTING!**

**2757 DEMING BLVD.** Exceptional home, meticulously maintained! 2 BR with den or 3rd

BR with closet in the hall. Main floor FR, two fireplaces, AC, newer furnace, water heater and appliances! \$239,900.



*Larry Sutherland*

**630-0528**

[larry@cheyennehomes.com](mailto:larry@cheyennehomes.com)

*Kim Sutherland*

**630-1488**

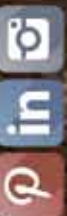
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COMMERCIAL BROKER



**TBD DIAMOND CREEK ROAD  
FOR SALE: \$3,130,022**

The best lot in North Range Business Park, just next to Microsoft. Located on the corner of Happy Jack Road and Diamond Creek Road. Great commercial corner in this PUD. 35.93 acres, priced at only \$2.00 per square foot. West on Happy Jack, second left past Round Top Road.

*Larry Sutherland, 630-0528*



**433 EAST 19TH STREET  
FOR SALE: \$1,500,000 OR LEASE: \$18/SF**

6,809 square feet of above average quality class B office space. Four restrooms (two that are handicap-accessible), asphalt parking lot with 30 spaces, six offices, ten exam rooms, surgery room, patient waiting room, lobby, waiting room, lab, records room, break room, and storage rooms. Tenant may become a month lease.

*Larry Sutherland, 630-0528*



**210 E. 17TH STREET  
FOR LEASE: \$15/SF**

Excellent Downtown office space with shared paved parking. Great visibility! Ideal for accountant, lawyer or small business. Call listing office to show!

*Larry Sutherland, 630-0528*



**4140 LARAMIE STREET  
FOR LEASE \$18/SF NNN**

Excellent building for lease. 5,160 square feet, with air-conditioning, kitchen area, handicap access, restrooms, and paved parking. Owner would prefer a five-year lease or longer, but willing to look at all offers. Building may be able to be split 50/50. Terrific building with a great location.

*Larry Sutherland, 630-0528*

*Recognized in the Wyoming Business Report's List of Largest Commercial Real Estate Brokerages*

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THINK NUMBER ONE COMMERCIAL.**

# 970 Nielson Ranch Road

An extraordinary opportunity in this beautiful HR Ranch equestrian property. A beautiful 2400 square foot, custom-built Hayes Construction, sprawling ranch-style home. Enjoy the inviting open design with great windows, hardwoods, granite, rustic cherry Pinnacle cabinets, and solid wood doors. The kitchen is perfect for gathering your friends and family. There is a finished 20x10 storage room off the main garage. There is a wonderful two-bedroom, one-and-a-half-bath guest house alongside the incredible 90 x 120 indoor arena and five-stall barn. The guest quarters have a full kitchen and living area with laundry and arena access. The great footing additive in the arena is a very special felt mixture used at the World Equestrian Games in Kentucky and is designed to hold moisture and provide even cushion! Three 16' overhead doors and two tack rooms. 51 acres set on a quiet cul-de-sac with three fenced pastures. Offered at \$634,000.



## truly remarkable horse property



Larry Sutherland

630-0528

[larry@cheyennehomes.com](mailto:larry@cheyennehomes.com)

Kim Sutherland

630-1488

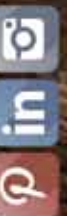
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**Larry Sutherland**  
307-630-0528



**Leah Lammers**  
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**Leah Woods**  
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**Lisa Foster**  
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**Lynda Strahmann**  
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**Susan Fullmer**  
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**Tammy Grant**  
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**Teri Cassidy**  
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**Bob Scott**  
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**Carl Wamboldt**  
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**Carla Wilson**  
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**Charlie West**  
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**Denise Moody**  
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**Desiree Hannabach**  
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**Erin Gilmartin**  
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**Gary Moore**  
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**George Costopoulos**  
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**Janet Black**  
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**Jim Weaver**  
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**Joe Prunty**  
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**Joe Svec**  
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**John Volk**  
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**June Casey**  
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**Justin Howell**  
307-631-8850



**Kathleen S. Petersen**  
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**Marc Dempsey**  
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**Marilyn Thomasee**  
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**Matt Munford**  
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**Natacha Gaspar**  
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**Rachel Renfro**  
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307-630-6719



**Vicki Million Hughes**  
307-630-1130



**Vince Osborn**  
307-630-6948



**Vivian Crowder**  
307-214-7526



**Wendy Volk**  
307-630-5263

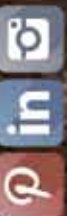
6106 Yellowstone Road  
1606 Dell Range Boulevard  
Cheyenne, WY 82009  
307-634-2222



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6106 YELLOWSTONE RD  
1606 DELL RANGE BLVD





# #1 We ♥ YOU, Cheyenne! PROPERTIES



"EVERYTHING WAS HANDLED WITH EXPERTISE AND EFFICIENCY!"

"very knowledgable and an excellent resource"

"ENTHUSIASTIC AND HELPFUL THROUGHOUT THE ENTIRE PROCESS"

"so impressed with the way everything was handled"

"ALWAYS AVAILABLE WHEN NEEDED"

*"very good communication"*

"Wonderful to work with!"

"WENT ABOVE AND BEYOND TO MAKE SURE WE WERE HAPPY"



"MADE US FEEL COMFORTABLE THE ENTIRE TIME"

"EXPERIENCE & KNOWLEDGE OF REAL ESTATE WAS INVALUABLE"

"great both in selling our house, and in helping us choose our next place"

*"the best service we could ask for"*

"VERY PLEASED WITH YOUR COMPANY"

"worked tirelessly to sell our home, and get us the best price possible"

"ALWAYS STRAIGHT-FORWARD AND HONEST"

*"fantastic experience!"*

"I could not have chosen a better agent or company"

"INCREDIBLY HELPFUL AND RESPONSIVE"

"very professional, knowledgeable, and very responsive"

"EVERY DETAIL WAS HANDLED PROFESSIONALLY"

"AMAZING PERSONAL SERVICE"

*"honesty, communication and action throughout the process was most valuable"*

"I picked the best and I am very happy with the way everything went!"

## We're #1 at selling homes. WE'D LOVE TO SELL YOURS.

